

**PLANNING BOARD RESOLUTION
VILLAGE OF MOUNT KISCO**

**NEGATIVE DECLARATON OF SIGNIFICANCE
PRELIMINARY AND FINAL SUBDIVISION APPROVAL**

**1 Leonard Street and 2 ½ Leonard Street
Burgler/Smoller Subdivision
Cal # PB2021-0409
January 24, 2023**

WHEREAS, the subject property consists of two (2) parcels of land located at the terminus of Leonard Street and identified as 1 Leonard Street (Tax Parcel 80.26-2-14.2) and 2 ½ Leonard Street (Tax Parcels 80.26-1-18 and 80.26-2-14.1); and

WHEREAS, 1 Leonard Street is owned by Martin Smoller and Lisa Mitchell, is located within the RM-10 Zoning District, consists of ±23,429 s.f. of land, and is developed with a single-family residence with access to Leonard Street over a portion of 2 ½ Leonard Street (Tax Parcel 80.26-2-14.1); and

WHEREAS, 2 ½ Leonard Street is owned by Lilian Burgler and Ian Bolf, is located within the RM-10 and RS-12 Zoning Districts, consists of two (2) Tax Lots totaling ±65,993 s.f., and contains a single-family residence, portico, cottage, greenhouse and frame garage with access to Leonard Street; and

WHEREAS, the owners of 1 Leonard Street and 2 ½ Leonard Street, as described above, are collectively referred to hereafter as “the applicants”; and

WHEREAS, the applicants are proposing a subdivision whereby 2 ½ Leonard Street would be subdivided into two (2) parcels (Lots 1 and 2) and 1 Leonard Street (Lot 3) would be increased in size; and

WHEREAS, the proposed subdivision will result in the following:

1. Lot 1 will consist of ±44,899 s.f., will be retained by Burgler/Bolf, and will contain the existing single-family residence and portico. The driveway will be reconfigured and will be shared with proposed Lot 2; the existing detached cottage, garage and greenhouse will be removed to comply with zoning; and
2. Lot 2 will consist of ±19,421 s.f., will be retained by Burgler/Bolf and is being created as a new building lot for a single-family residence including a driveway shared with Lot 1; and

3. Lot 3 will consist of ±25,102 s.f. and will contain the existing Smoller/Mitchell residence. The driveway will be reconfigured to be located entirely on Lot 3, providing private access to Leonard Street. An existing shed on Lot 3 is proposed to be removed to comply with zoning; and

WHEREAS, the applicants are proposing landscaping, drainage and utility improvements, which are illustrated on the construction plans referenced below; and

WHEREAS, the applicants have prepared a Stormwater Management Report, prepared by Insite Engineering, dated November 22, 2022; and

WHEREAS, a variety of easements are proposed on Lots 1 and 2 for both utilities and access; and

WHEREAS, provided the existing cottage, garage and greenhouse on Lots 1 and 2 and the shed on Lot 3 is removed, no zoning nonconformities will result and no zoning variances are required; and

WHEREAS, the subject property is located within the NYC East of Hudson Watershed and proposed land disturbance exceeds 5,000 s.f. Coverage under the NYSDEC SPDES General Permit for Stormwater Discharges from Construction Activity (GP-0-20-001) is required; and

WHEREAS, the applicants have submitted the Short Environmental Assessment Form (EAF), dated September 6, 2022; and

WHEREAS, the Planning Board conducted a duly noticed public hearing which was opened on October 25, 2022, adjourned to and continued on November 22, 2022, adjourned to and continued on December 13, 2022, and adjourned to and closed on January 24, 2023, at which time all interested parties were afforded an opportunity to be heard.

NOW, THEREFORE, BE IT RESOLVED THAT, the proposed action has been determined to be an Unlisted Action, pursuant to the New York State Environmental Quality Review Act (SEQRA) and a coordinated review was not conducted; and

BE IT FURTHER RESOLVED THAT, the Planning Board has compared the proposed action with the Criteria for Determining Significance in 6 NYCRR 617.7(c) and determined that the proposed action will not have a significant adverse impact on the environment; and

BE IT FURTHER RESOLVED THAT, the Planning Board has considered all reasonably related long-term, short-term, direct, indirect, and cumulative environmental effects associated with the proposed action including other simultaneous or subsequent actions; and

BE IT FURTHER RESOLVED THAT, the Planning Board hereby issues the attached Negative Declaration of Significance; and

BE IT FURTHER RESOLVED THAT, the Planning Board hereby grants Preliminary and Final Subdivision Plat Approval and approves the following subdivision plat, prepared by H. Stanley Johnson and Company Land Surveyors, dated (last revised) December 27, 2022, subject to the below enumerated conditions:

- Final Subdivision Plat prepared for Lilian Burgler and Ian Bolf and Martin A. Smoller and Lisa C. Mitchell

BE IT FURTHER RESOLVED THAT, the Planning Board hereby approves the following construction plans, prepared by Insite Engineering, dated (last revised) January 3, 2023:

- Existing Conditions and Removals Plan (EX-1)
- Site Plan (SP-1)
- Grading, Utilities, and Erosion & Sediment Control Plan (SP-2)
- Details (D-1)
- Details (D-2)

BE IT FURTHER RESOLVED THAT, unless extended by the Planning Board within 180 days of the filing date of this Resolution, Conditions #1- #9 enumerated below shall be satisfied to the satisfaction of Village staff, and the approved plat and approved construction plans signed by the Planning Board Chairman; and

BE IT FURTHER RESOLVED THAT, unless extended by the Planning Board, construction shall commence within 180 days of the filing date of this Resolution and shall be completed within one (1) year of commencement of construction. This includes all demolition/removals for all lots and all proposed improvements on Lots 1 and 3, including landscaping. Commencement of construction of the future residence on Lot 2 shall not have a time restriction.

Conditions to be Satisfied Prior to the Signing of the Subdivision Plat:

1. The plat shall meet all filing requirements of the Westchester County Clerk's Office.
2. The applicants shall obtain realty subdivision approval from the Westchester County Department of Health (WCDH).
3. A recreation fee for Lot 2, in the amount required per the Village's fee schedule, shall be paid to the Village of Mount Kisco.
4. Conditions #29 and #30 shall become notes on the subdivision plat and construction plans.
5. The applicants shall satisfactorily address any outstanding comments provided by the Building Inspector, Village Attorney, Village Engineer, and/or Village Planner.

6. The applicants shall remove, to the satisfaction of the Building Inspector, the detached cottage, garage, and greenhouse on Lots 1 and 2 and the shed on Lot 3. Demolition permits shall be obtained from the Building Inspector, as needed.
7. All easement documents shall be prepared to the satisfaction of the Village Attorney and shall be filed with the County Clerk simultaneously with the plat; proof of recording shall be provided to the Planning Board and Village Attorney.
8. The Subdivision Plat shall be revised to conform to the above conditions and to the satisfaction of Village staff. The applicant shall submit a “check set” (4 copies) of the approved plat in final form and in accordance with the conditions of this Resolution, for review by Village staff.
9. All applicable application fees and fees associated with professional legal, engineering and planning consultation shall be paid for by the owner/applicant.

Conditions to be Satisfied Prior to the Signing of the Construction Plans

10. All conditions contained above shall have been satisfied.
11. The subdivision plat and easement documents shall have been filed with the County Clerk, with proof of recording provided to the Planning Board and Village Attorney.
12. The owner/applicant shall satisfactorily address any outstanding comments provided by the Building Inspector, Village Attorney, Village Engineer, and/or Village Planner.
13. The applicant shall submit a “check set” (4 copies) of the approved construction plans prepared in final form and in accordance with the conditions of this Resolution, for review by Village staff.
14. The approved construction plans shall be revised to conform to the above conditions and to the satisfaction of Village staff. The applicant shall submit four (4) original copies of the approved plans, signed, and sealed by the Design Professional, for final review by Village staff and for signature by Village staff and the Planning Board Chairman. All plans shall have a common revision date.

Conditions to be Satisfied Prior to Commencement of Any Work:

15. The applicants shall obtain a Building Permit. A Building Permit shall not be issued until the approved plans have been signed by the Village staff and the Planning Board Chairman.
16. It is the applicant’s responsibility to identify and secure any and all necessary permits/approvals from outside agencies having jurisdiction over the proposed action.

Copies of outside agency permits/approvals shall be submitted to the Planning Board and the Building Department. In the event that such permit(s) require modification to the plans approved herein, a determination shall be made by the Building Inspector and Village Engineer as to whether the modification(s) is/are substantive and should be returned to the Planning Board for review. The following outside agency permits/approvals have been identified as required:

- a. Mount Kisco Architectural Review Board (to be obtained prior to the issuance of a Building Permit for Lot 2)
 - b. Mount Kisco Department of Public Works for work within the public right of way and utility connections
 - c. NYSDEC SPDES General Permit for Stormwater Discharges from Construction Activity (GP-0-20-001)
17. The applicants shall submit a schedule for all earthwork and land disturbance to the Village Engineer for approval. The applicants shall notify the Village Engineer and Building Inspector at least 72 hours in advance of any site disturbance.
 18. Before commencement of any land disturbance, placing construction equipment on-site or actual construction, the subject property must be staked out by a NYS Licensed Land Surveyor, as determined necessary by the Village Engineer.
 19. A pre-construction meeting shall be conducted with the applicant, contractor, Building Inspector, Village Planner and Village Engineer.

Conditions to be Satisfied During Construction:

20. The Village Engineer and Village Planner shall have the right to inspect the property during construction; inspection costs shall be paid for by the applicant via the established escrow account.
21. All construction activities shall be performed during the times permitted under the Village Code. The Village Engineer and Village Planner shall have the right to inspect the property during construction, the cost of which shall be paid for by the applicant.

Conditions to be Satisfied Prior to the Issuance of a Certificate of Occupancy:

22. There shall be no Certificate of Occupancy issued until there is full compliance with the plans approved herein and all conditions of this Resolution.
23. Prior to the issuance of a Certificate of Occupancy, an as-built survey, signed and sealed by a NYS Licensed Land Surveyor and demonstrating compliance with the approved plans,

shall be submitted. This survey shall be prepared to the satisfaction of the Village Engineer.

24. A final site inspection shall be completed by the Building Inspector, Village Engineer and Village Planner.
25. All applicable application fees and fees associated with professional legal, engineering and planning consultation shall be paid by the applicant.

Other Conditions:

26. All WHEREAS clauses contained within the body of this Resolution shall be deemed incorporated as conditions of approval, as if fully set forth herein.
27. The Planning Board is to retain original jurisdiction.
28. Failure to comply with any of the aforesaid conditions shall constitute a violation of this approval and shall subject the applicant to prosecution, penalties and/or permit revocations pursuant to applicable law.
29. There shall be no further subdivision of Lots 1 or 2 unless such subdivision is determined to be zoning compliant, without the need of any variance.
30. There shall be no further subdivision of Lot 3.

ADOPTION OF RESOLUTION

WHEREUPON, the Resolution herein was declared adopted by the Planning Board of the Village of Mount Kisco as follows:

The motion was moved by: _____

The motion was seconded by: _____

The vote was as follows:

MICHAEL BONFORTE	_____
WILLIAM POLESE	_____
CRYSTAL PICKARD	_____
MICHAEL MCGUIRK	_____
BARBARA ROPPOLO	_____
WILLIAM BELTRAN	_____
MAGGIE DOWNEY	_____
WILLIAM PHILLIPS	_____

January 24, 2023

**State Environmental Quality Review
NEGATIVE DECLARATION
Notice of Determination of Non-Significance**

Date: January 24, 2023

This notice is issued pursuant to Part 617 of the implementing regulations pertaining to Article 8 (State Environmental Quality Review Act) of the Environmental Conservation Law.

The Village of Mount Kisco Planning Board has determined that the proposed action described below will not have a significant environmental impact and a Draft Environmental Impact Statement will not be prepared.

Name of Action: 1 and 2 ½ Leonard Street - Burgler/Smoller Subdivision

SEQRA Status: Type 1

Unlisted

Conditioned Negative Declaration: Yes

No

Coordinated Review: Yes

No

Description of Action:

The subject property consists of two (2) parcels of land located at the terminus of Leonard Street and identified as 1 Leonard Street (Tax Parcel 80.26-2-14.2) and 2 ½ Leonard Street (Tax Parcels 80.26-1-18 and 80.26-2-14.1). 1 Leonard Street is owned by Martin Smoller and Lisa Mitchell, is located within the RM-10 Zoning District, consists of ±23,429 s.f. of land, and is developed with a single-family residence with access to Leonard Street over a portion of 2 ½ Leonard Street (Tax Parcel 80.26-2-14.1). 2 ½ Leonard Street is owned by Lilian Burgler and Ian Bolf, is located within the RM-10 and RS-12 Zoning Districts, consists of two (2) Tax Lots totaling ±65,993 s.f., and contains a single-family residence, portico, cottage, greenhouse and frame garage with access to Leonard Street; and

The applicants are proposing a subdivision whereby 2 ½ Leonard Street would be subdivided into two (2) parcels (Lots 1 and 2) and 1 Leonard Street (Lot 3) would be increased in size.

The proposed subdivision will result in the following:

1. Lot 1 will consist of ±44,899 s.f., will be retained by Burgler/Bolf, and will contain the existing single-family residence and portico. The driveway will be reconfigured and will be shared with proposed Lot 2; the existing detached cottage, garage and greenhouse will be removed to comply with zoning.
2. Lot 2 will consist of ±19,421 s.f., will be retained by Burgler/Bolf and is being created as a new building lot for a single-family residence including a driveway shared with Lot 1.
3. Lot 3 will consist of ±25,102 s.f. and will contain the existing Smoller/Mitchell residence. The driveway will be reconfigured to be located entirely on Lot 3, providing private access to Leonard Street. An existing shed on Lot 3 is proposed to be removed to comply with zoning.

Location: 1 and 2.5 Leonard Street, Mount Kisco, Westchester County, New York

Reasons Supporting This Determination: The Planning Board has compared the proposed action with the Criteria for Determining Significance in 6 NYCRR 617.7 (c). Specifically:

1. The proposed action will not result in a substantial adverse change in the existing air quality, ground or surface water quality or quantity, traffic or noise levels; a substantial increase in solid waste production.

The proposed action will result in the construction of one (1) additional single family home. The residence will be connected to Village water and sewer services. Land disturbance and tree removal has been reduced to the maximum extent possible.

2. The proposed action will not result in the removal or destruction of large quantities of vegetation or fauna; substantial interference with the movement of any resident or migratory fish or wildlife species; impact a significant habitat area; result in substantial adverse impacts on a threatened or endangered species of animal or plant, or the habitat of such species; and will not result in other significant adverse impacts to natural resources.

Land disturbance and tree removal has been restricted to the maximum extent practicable, the project will result in 16,700 s.f. of land disturbance.

The proposed action will not result in the impairment of the environmental characteristics of a Critical Environmental Area as designated pursuant to 6 NYCRR Part 617.14(g).

The subject property is not located within a Critical Environmental Area.

3. The proposed action will not result in a material conflict with the Town's officially approved or adopted plans or goals.

The proposed action is permitted within the underlying Zoning District and the applicant has demonstrated compliance with the applicable subdivision and zoning regulations.

4. The proposed action will not result in the impairment of the character or quality of important historical, archaeological, architectural, aesthetic resources, or the existing character of the community or neighborhood.

The proposed action is not located in proximity to a protected historic, archeological or aesthetic resource. The proposed action will require approval from the Village's Architectural Review Board (ARB) prior to the issuance of a Building Permit.

5. The proposed action will not result in a major change in the use of either the quantity or type of energy.

6. The proposed action will not create a hazard to human health.

7. The proposed action will not create a substantial change in the use, or intensity of use, of land including agricultural, open space or recreational resources, or in its capacity to support existing uses.

8. The proposed action will not encourage or attract a large number of people to a place or place for more than a few days, compared to the number of people who would come to such place absent the action.

9. The proposed action will not create a material demand for other actions that would result in one of the above consequences.

10. The proposed action will not result in changes in two or more elements of the environment, no one of which has a significant impact on the environment, but when considered together result in a substantial adverse impact on the environment.

11. When analyzed with two or more related actions, the proposed action will not have a significant impact on the environment and when considered cumulatively, will not meet one or more of the criteria under 6 NYCRR 617.7(c).
12. The Planning Board has considered reasonably related long-term, short-term, direct, indirect and cumulative impacts, including other simultaneous or subsequent actions.



January 3, 2023

Village of Mt. Kisco Planning Board
104 East Main Street
Mt. Kisco, New York 10549

RE: Burgler /Smoller Subdivision
2 ½ & 1 Leonard Street
Mt. Kisco, New York

Dear Chairman and Members of the Board:

Enclosed please find seven (7) copies of the following in support of a formal subdivision review of the above referenced project:

- Drawing Set (5 sheets), last revised January 3, 2023.
- Final Subdivision Plat, prepared by H. Stanley Johnson and Company Land Surveyors, P.C., last revised December 27, 2022.
- Letter to Lilian Burgler from Insite Engineering, Surveying & Landscape Architecture, P.C. regarding sewer investigative work, dated December 27, 2022.

Since last before the Board, we have revised the plans and provided more information to address technical comments from the Village Consultants. An updated Final Subdivision Plat is also provided. The owner obtained the services of a septic contractor to investigate and locate the existing sewer service line from the main dwelling located on Lot 1. This work was performed under the observation of our office. Per the enclosed letter, it was found that the sewer service does in fact continue past the property line towards the Guard Hill Manor development with no signs of a septic system onsite. In addition, we added the water main work from the proposed Village of Mount Kisco project to the site plan drawings. As such, we believe all outstanding engineering items have been addressed.

With regards to comments received from the Village Planner, we offer the following:

Memorandum from Jan K. Johannessen, AICP, of Kellard Sessions as Village Planner, dated December 8, 2022:

Required Approvals/Referrals

1. The applicant acknowledges that preliminary and final subdivision approval is required from the Planning Board, and that a public hearing is required to be held on the preliminary subdivision plat.
2. The applicant acknowledges that the proposed residence on Lot 2 will require Architectural Review Board Approval.
3. The applicant acknowledges that the proposed subdivision requires Realty Subdivision Approval from the Westchester County Department of Health.
4. The applicant acknowledges that the proposed action requires New York State Department of Environmental Conservation SPDES General Permit for Stormwater Discharges from Construction Activity (GP-0-20-001).

Comments

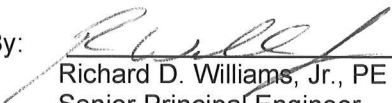
1. The applicant acknowledges that all zoning and legal matters shall be deferred to the Building Inspector and Village attorney, respectively.

2. The applicant acknowledges that a subdivision plat prepared by a licensed land surveyor shall be provided, and that existing and proposed easements should be illustrated and described.
3. We acknowledge that all other prior comments have been satisfactorily addressed.

We trust you will find the enclosed information in order, and we look forward to presenting the project at the Board's January 24, 2023 public hearing. Should you have any questions or comments or require additional copies of the enclosed information, please feel free to contact our office.

Very truly yours,

INSITE ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.

By: 
Richard D. Williams, Jr., PE
Senior Principal Engineer

RDW/jll

Enclosures

cc: Lilian Burgler, w/ enclosures via email
Charles Martabano, ESQ., w/ enclosures via email
Michael Sirignano, ESQ., w/ enclosures via email
Jan Johannessen, AICP, Village Planner
Peter Miley, Village Building Inspector
Anthony Oliveri, PE, Village Engineer

Insite File No. 20184.100



December 27, 2022

Lilian Burgler
2 ½ Leonard Street
Mt. Kisco, New York 10549

RE: Burgler /Smoller Subdivision
2 ½ & 1 Leonard Street
Mt. Kisco, New York

Dear Ms. Burgler:

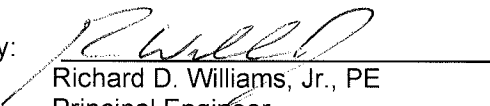
On December 27, 2022, Tyndall Septic Systems, Inc. performed investigative work to detect and locate the existing sewer service line from the main dwelling at 2 ½ Leonard Street. Our office was present to observe the investigation work. The existing sewer line was snaked from within the basement of the dwelling and found to exit on the northern side of the structure diagonally to the northwest and towards the existing pachysandra on the north side of the dwelling. After videoing the first section of sewer line, an elbow was observed, redirecting the sewer line between the two adjacent cedar trees and towards the northern property line. Using a snake and underground utility detection equipment, the sewer line was located marked and observed continuing past the property line in the area of the existing 10" Japanese maple and towards the adjoining Guard Hill Manor development. No signs of an existing septic system were found along the length of the sewer line on the subject property.

Should you have any questions or comments or require additional copies of the enclosed information, please feel free to contact our office.

Very truly yours,

INSITE ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.

By:


Richard D. Williams, Jr., PE
Principal Engineer

RDW/ejp
Enclosures
cc:

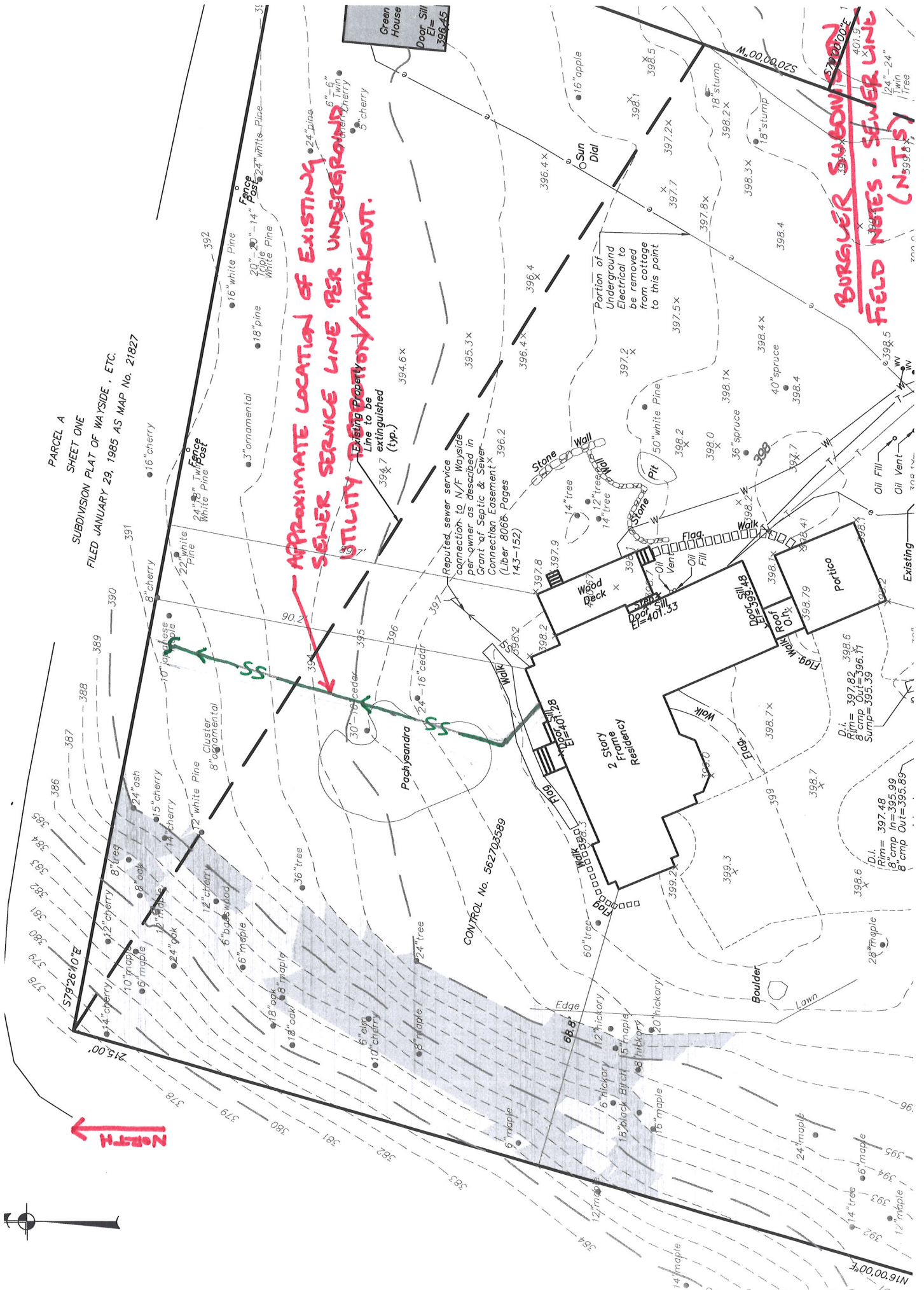
Insite File No. 20184.100

PARCEL A
SHEET ONE
SUBDIVISION PLAT OF WAYSIDE, ETC.
FILED JANUARY 29, 1985 AS MAP No. 21827

APPROXIMATE LOCATION OF EXISTING
SEWER SERVICE LINE PER UNDERGROUND
UTILITY EXISTING PROPERTY MARK-O-VT.

BURGESS SUBDIVISION
FIELD NOTES - SEWER LINE
(N.T.S.)

12-21-2022



Approved for filing in the Westchester County Clerk's Office, Division of Land Records:

Owner: Lilian Burgler
2 1/2 Leonard Street
Mount Kisco, NY 10549
Tax ID: 80.26-1-18
Date: 80.26-2-14.1

Owner: Ian Bolf
2 1/2 Leonard Street
Mount Kisco, NY 10549
Tax ID: 80.26-1-18
Date: 80.26-2-14.1

Owner: Martin A. Smoller
1 Leonard Street
Mount Kisco, NY 10549
Tax ID: 80.26-2-14.2
Date: 80.26-2-14.2

Owner: Lisa C. Mitchell
1 Leonard Street
Mount Kisco, NY 10549
Tax ID: 80.26-2-14.2
Date: 80.26-2-14.2

Approved by Planning Board of the Village and Town of Mount Kisco

Chairman: Name _____ Date: _____

WESTCHESTER COUNTY DEPARTMENT OF HEALTH
Mount Kisco, New York

Approved pursuant to Chapter 873, Article X, Sections 873.951 and 873.1021 of the Westchester County Sanitary Code subject to the provision of public water supply and public sanitary sewer facilities to serve all structures intended for human occupancy constructed herein.

Each purchaser of property shown hereon shall be furnished a true copy of this plat showing this endorsement. Any assurances, changes, additions or alterations of any kind, except the addition of signatures of other approving authority and the date thereof made on this plan after this approval, shall invalidate this approval.

Approved by the Assistant Commissioner of Health _____ Date: _____
on behalf of the Department of Health

PROPOSED LAND AREA SCHEDULE

LOT No.	EXISTING	PROPOSED
LOT 1	60,912 s.f. 1.398 Acres	44,899 s.f. 1.031 Acres
LOT 2	5,081 s.f. 0.117 Acres	19,421 s.f. 0.446 Acres
LOT 3	23,429 s.f. 0.538 Acres	25,102 s.f. 0.576 Acres
TOTAL AREA	89,422 s.f. 2.053 Acres	89,422 s.f. 2.053 Acres

- Notes:
- Premises shown hereon located in the RS-12 (Low Density Single Family Residence District) and RM-10 (Moderate Density Multifamily District) in the Village and Town of Mount Kisco.
 - Premises shown hereon known and designated as Section 80.26 Block 1 Lot 18 and Block 2 Lots 14.1 and 14.2 on the Village and Town of Mount Kisco Tax Maps.
 - Unauthorized alterations or additions to this drawing is a violation of Section 7209 (2) of the New York State Education Law.
 - Property shown hereon is subject to the Rules and Regulations for the protection from the contamination of the New York City water supply and its sources.
 - Deed Control No. 581103107 and 472410125
 - Subsurface information shown hereon is not guaranteed as to accuracy or completion and should be verified by the contractor before construction.
 - Refer to Filed Map 21827.
 - Rotate Parcel B, F.M. 21827 to the right 11°26'50" to be in accordance with Deed Control No. 581103107.
 - Driveway Easement Liber 11137 Page 235 to be extinguished upon filing of this map.
 - There shall be no further subdivision of nor multi-family development permitted or in connection with Lot 3. A multi-family development shall also not be permitted on the portions of Lots 1 and 2 located in the RM-10 Zone.

**BULK ZONING TABLE
RS-12 ZONE REQUIREMENTS**

	REQUIRED	EXISTING LOT 1	PROPOSED LOT 1	EXISTING LOT 2	PROPOSED LOT 2
Lot Area	12,500 s.f.	60,912	44,899	5,081	19,421
Lot Frontage	N/A	0'	16.74'	50'	16.72'
Lot Width	100'	313'	211'	50'	122'
Lot Depth	100'	238'	215'	100'	241'
Front Yard	35' with depth greater than 150' 25' with depth less than 150'	0.3' GARAGE	55.9' RESIDENCE	N/A	43.3'
Side Yard	15' Min.	0.3' GARAGE	15.6'	N/A	16.0'
Rear Yard	30' Min.	90.0'	90.0'	N/A	111.6'
Building Height	2 1/2 Sty. Max.	2 Stories	2 Stories	N/A	2 Stories
Stories	2 1/2 Sty. Max.	2 Stories	2 Stories	N/A	2 Stories
Feet	35' Max.	<35'	<35'	N/A	<35'
Building Coverage Allowed	2,150 s.f. plus 20% of net lot area in excess of 9,000 s.f.	3,875	3,171.41	N/A	1,555
Building Coverage				N/A	
Development Coverage	40% max.	15%	16%	26%	16%

H. STANLEY JOHNSON AND COMPANY
LAND SURVEYORS, P.C.
42 SMITH AVENUE P.O. BOX 93
MT. KISCO, N.Y. 10549
TEL. 914-241-3872
FAX. 914-241-0438

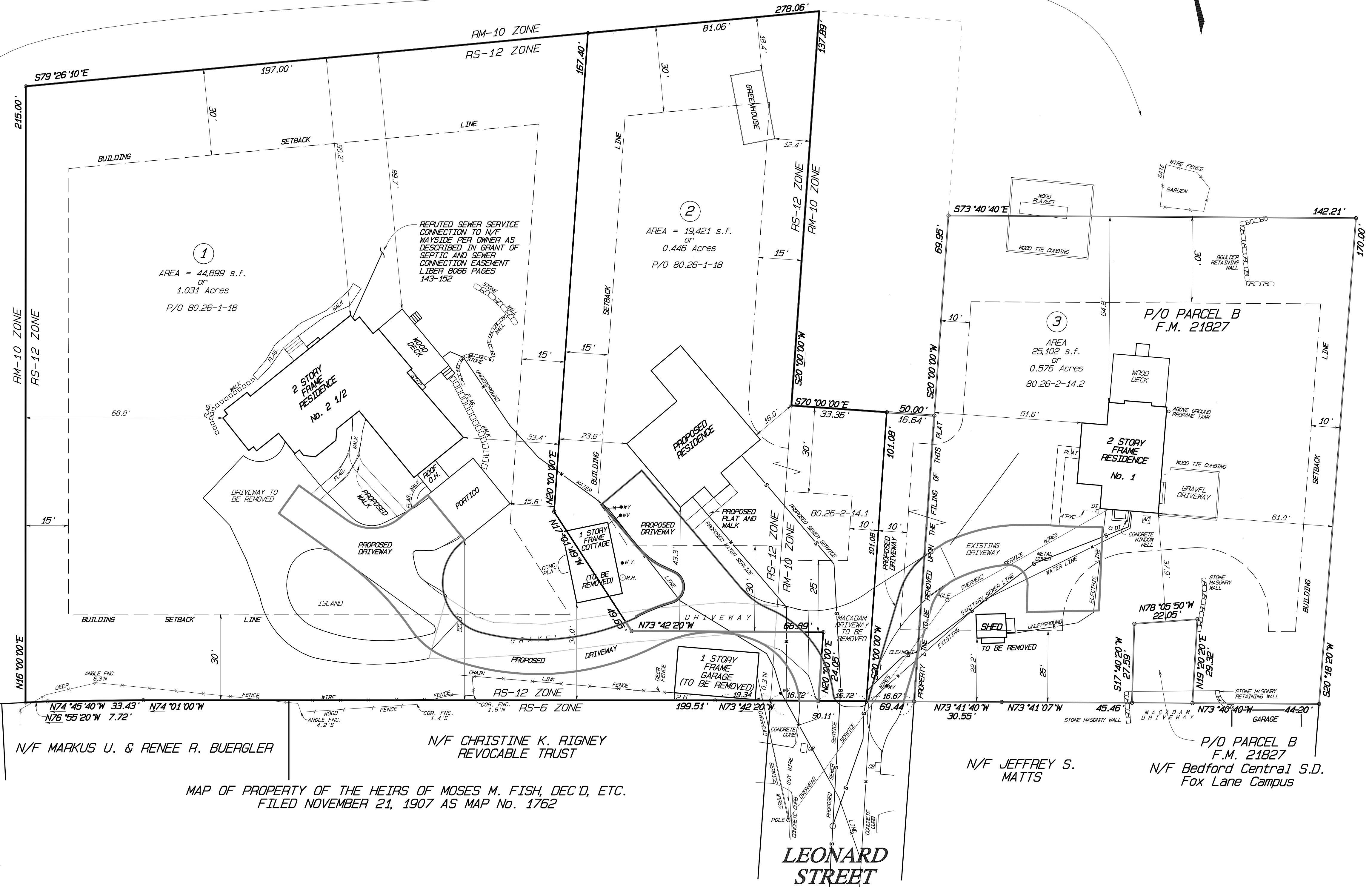
Map Revised December 27, 2022
Map Revised June 23, 2022
Map Revised April 14, 2022
Map Revised August 16, 2021

By: *Robert S. Johnson*
NEW YORK STATE LICENSED LAND SURVEYOR NO. 50037
ROBERT S. JOHNSON, P.L.S.



ENGINEER
New York State Licensed Professional Engineer No. 085866
Date
Richard D. Williams Jr., P.E.
Insite Engineering Surveying and Landscape Architecture, P.C.
3 Garrett Place
Carmel, NY 10512

PARCEL A SHEET ONE
SUBDIVISION PLAT OF WAYSIDE, ETC.
FILED JANUARY 29, 1985 AS MAP No. 21827



MAP OF PROPERTY OF THE HEIRS OF MOSES M. FISH, DEC'D, ETC.
FILED NOVEMBER 21, 1907 AS MAP No. 1762

**BULK ZONING TABLE
RM-10 ZONE REQUIREMENTS**

	REQUIRED	EXISTING LOT 3	PROPOSED LOT 3
Lot Area	6,250 s.f.	23,429 s.f.	25,102 s.f.
Lot Frontage	-	-	-
Lot Width	50'	169'	169'
Lot Depth	100'	141'	141'
Front Yard	25'	22.2' 10' SHED	22.2' 10' SHED
Side Yard	10' Min.	51.6'	51.6'
Rear Yard	30' Min.	64.8'	64.8'
Building Height	2 1/2 Sty. Max.	2 Stories	2 Stories
Stories	2 1/2 Sty. Max.	2 Stories	2 Stories
Feet	35' Max.	<35'	<35'
Building Coverage Allowed	2,150 s.f. plus 20% of net lot area in excess of 9,000 s.f.	1,236	1,236
Building Coverage			
Development Coverage	40% max.	15.9%	15.3%

**FINAL SUBDIVISION PLAT
PREPARED FOR
LILIAN BURGLER and IAN BOLF**

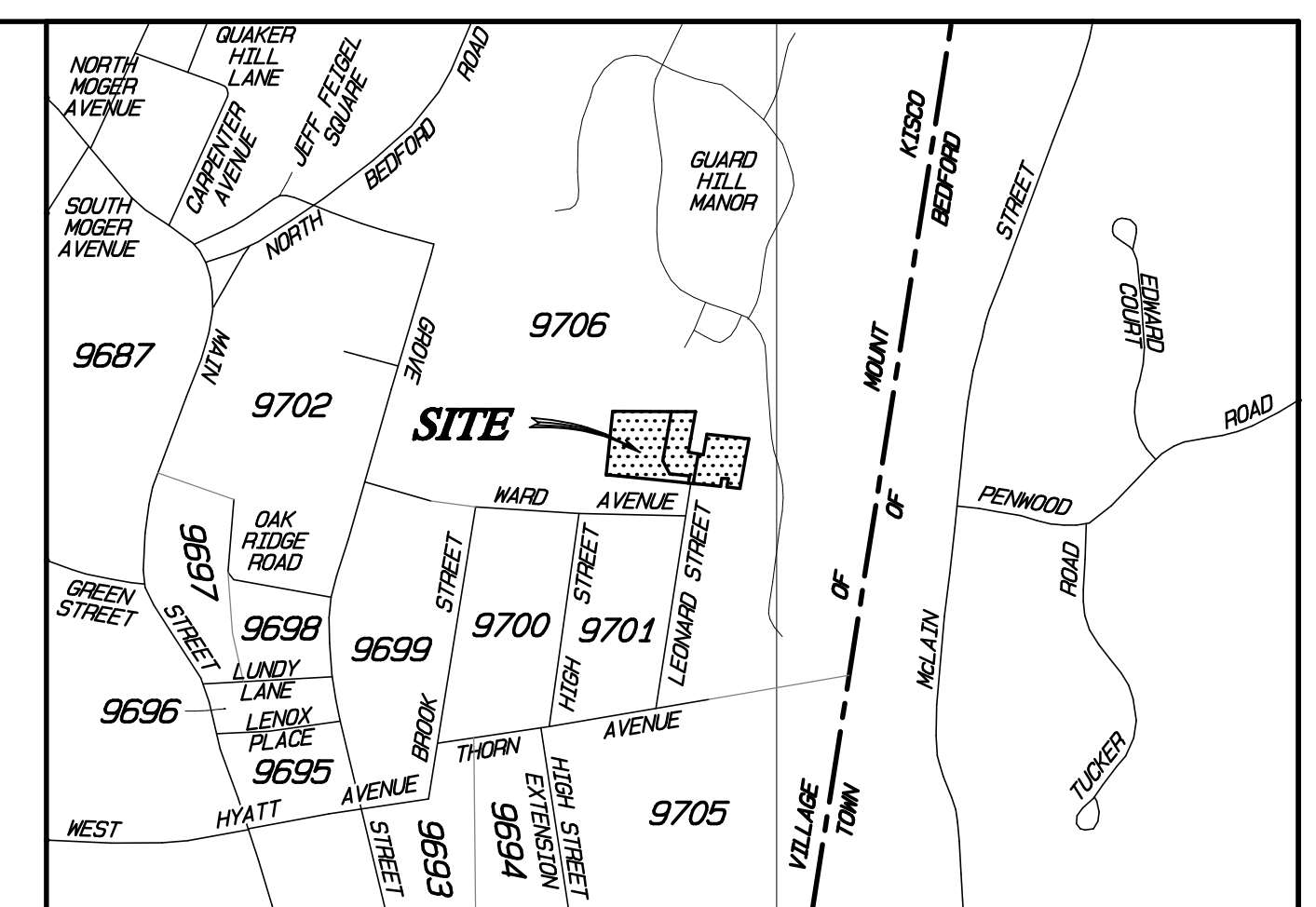
MARTIN A. SMOLLER AND LISA C. MITCHELL

SITUATE IN THE
VILLAGE & TOWN OF MOUNT KISCO
WESTCHESTER COUNTY, NEW YORK

SCALE: 1" = 20'

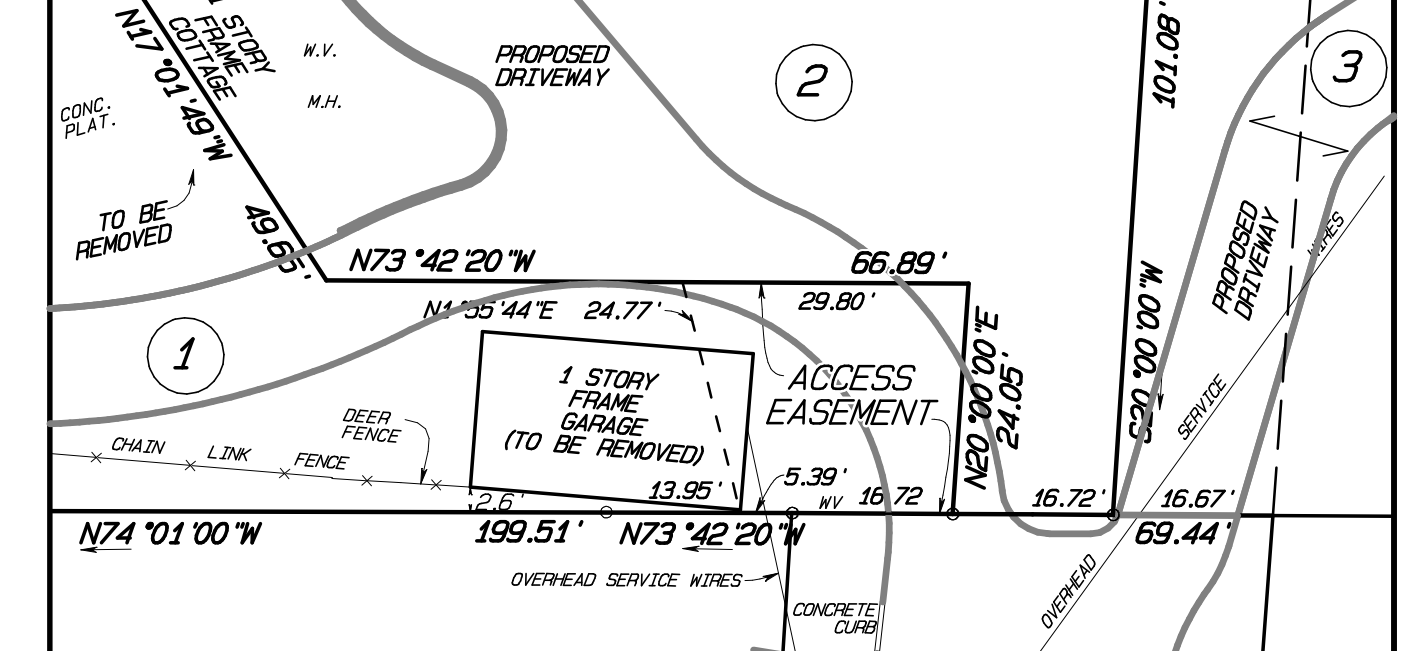
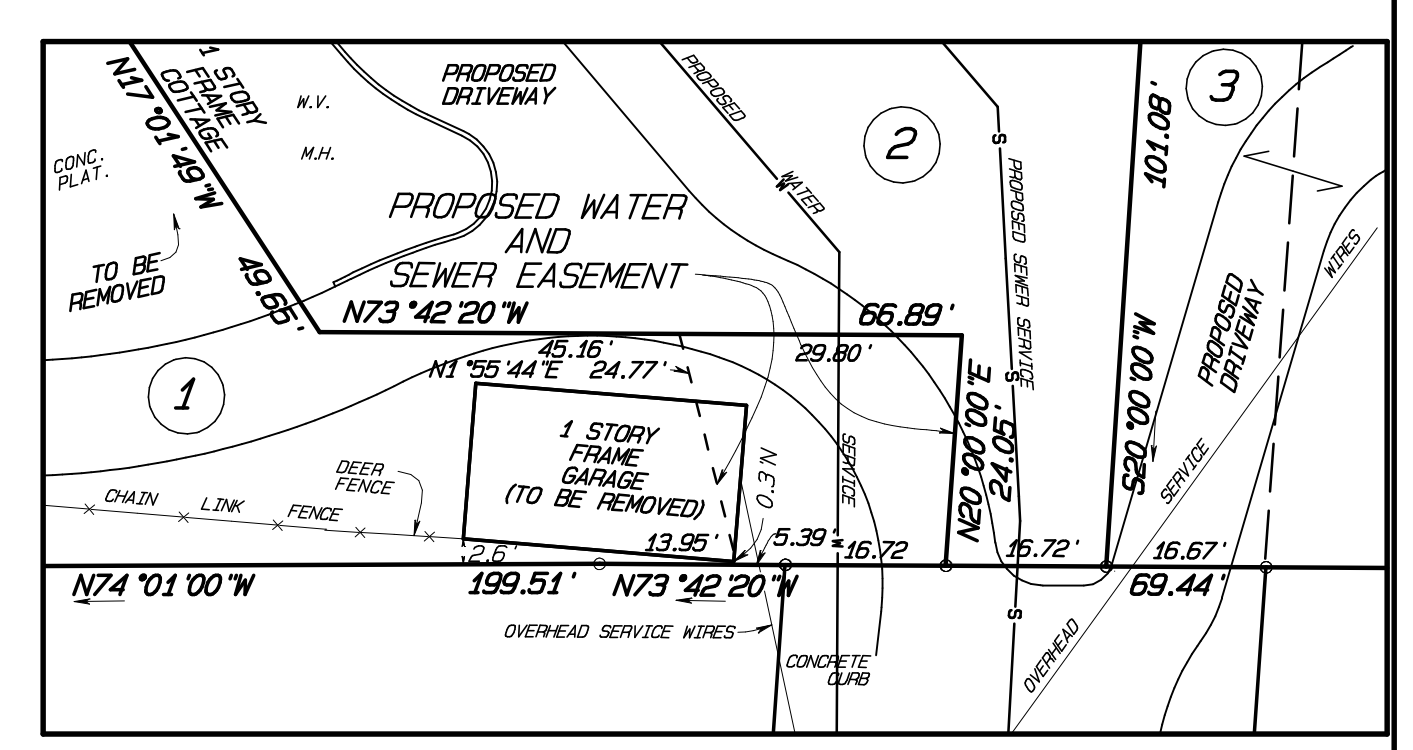
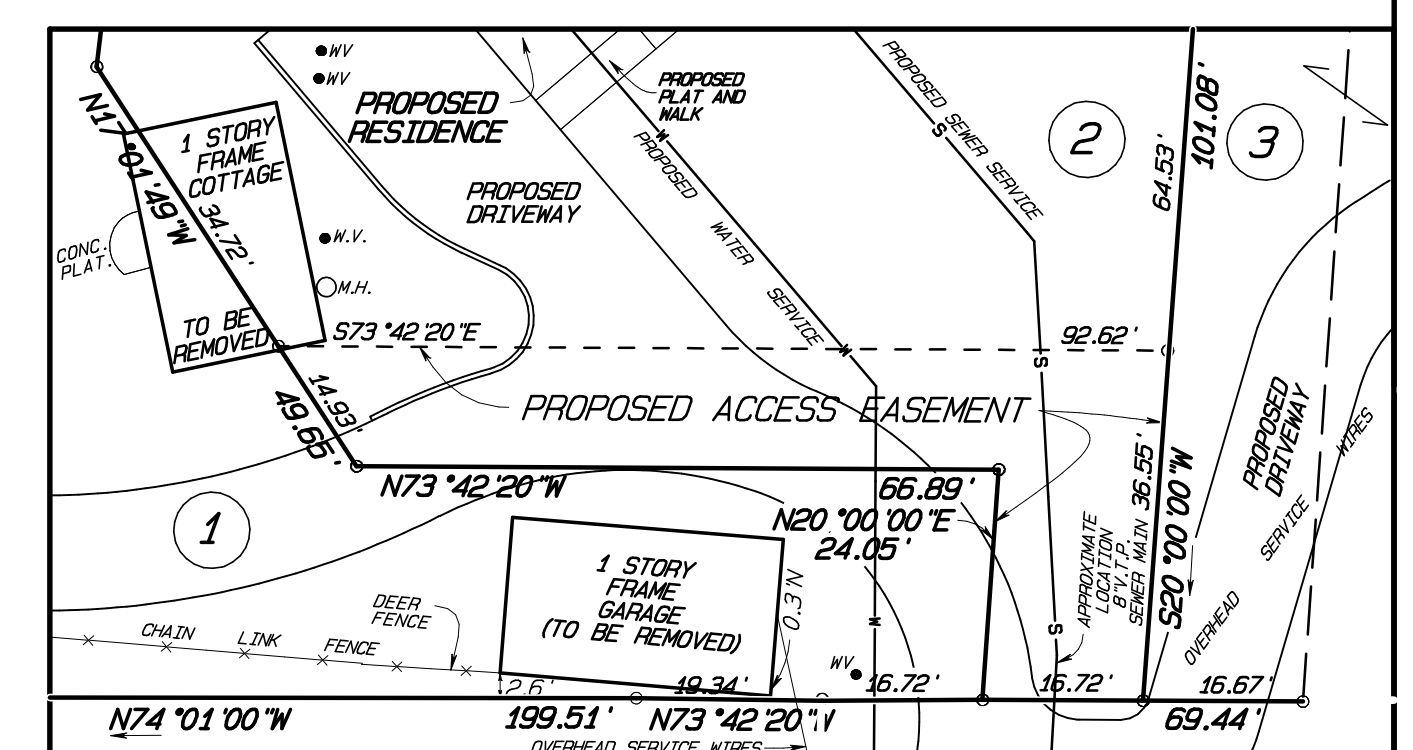
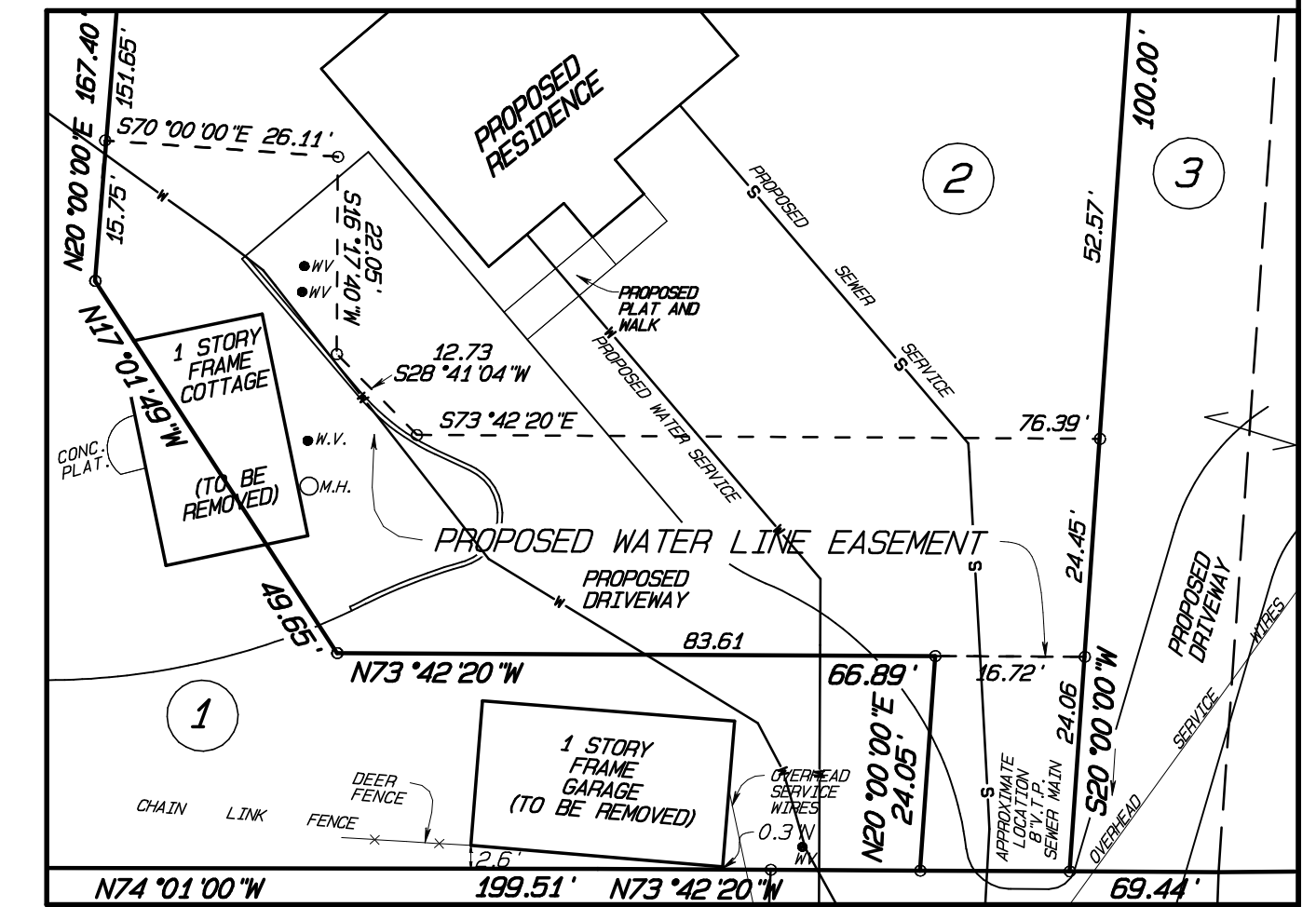


SHEET 175 BLOCK 9706 COUNTY INDEX SYSTEM



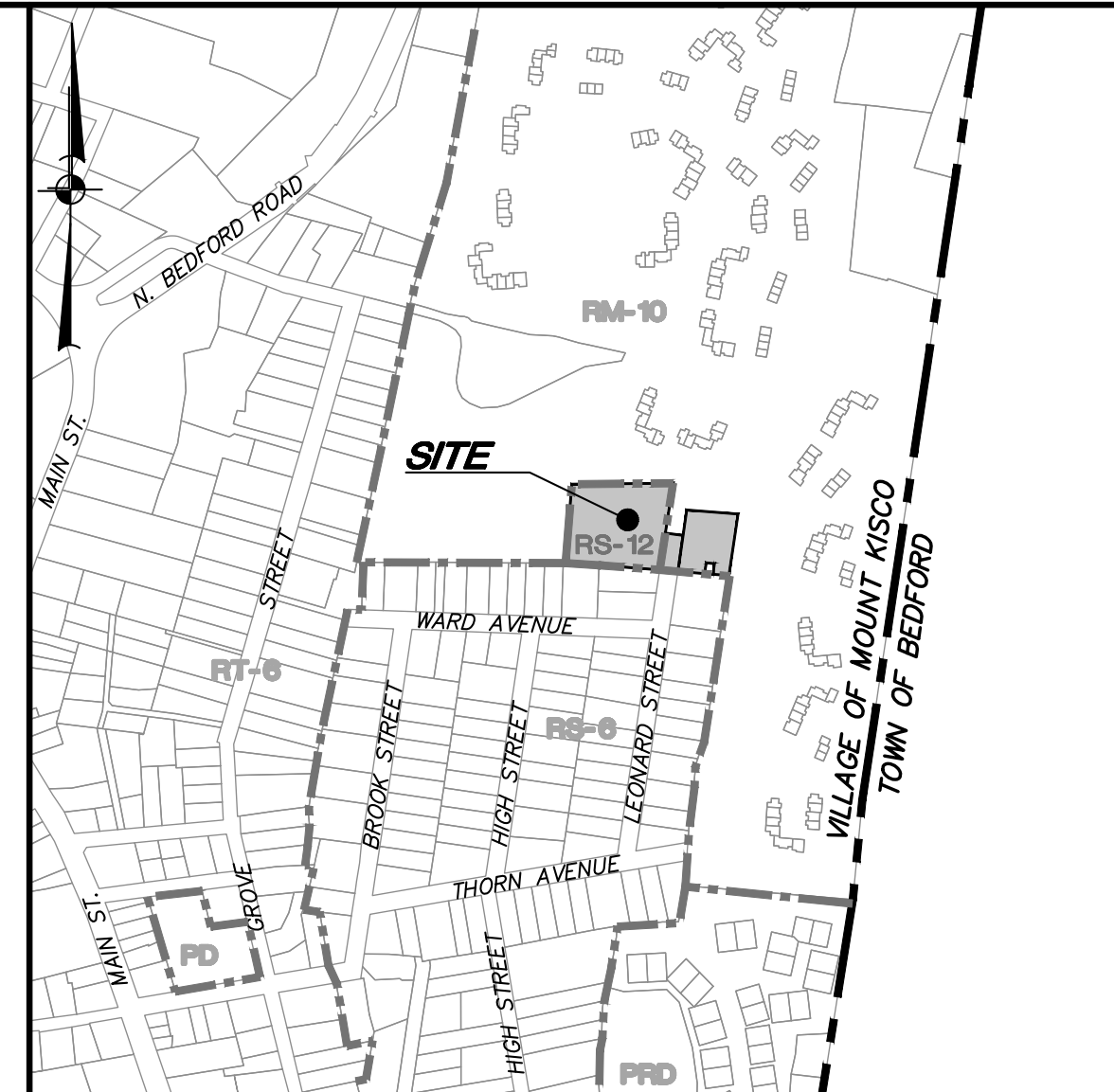
LOCATION MAP
SCALE: 1" = 600'

EASEMENT DETAILS



Slopes Table			
Minimum Slope	Maximum Slope	Color	Area (sf)
20%	25%	Yellow	4,104
25%	Vertical	Green	2,925

LEGEND	
	EXISTING PROPERTY LINE
	EXISTING PROPERTY LINE TO BE EXTINGUISHED
	EXISTING EASEMENT
	EXISTING ZONING DISTRICT BOUNDARY
	EXISTING BUILDING TO BE REMOVED
	EXISTING STONE WALL
	EXISTING POST & RAIL FENCE
	EXISTING WIRE FENCE
	EXISTING CHAIN LINK FENCE
	EXISTING UNDERGROUND DRAINAGE PIPE
	EXISTING MANHOLE (type unidentified)
	EXISTING OIL FILL / VALVE
	EXISTING WATER VALVE
	EXISTING 10' CONTOUR
	EXISTING 2' CONTOUR
	EXISTING SPOT GRADE
	EXISTING TREE (SEE GENERAL NOTE 3)
	EXISTING GRAVEL DRIVE
	EXISTING EDGE OF PAVEMENT
	EXISTING OVERHEAD WIRES
	EXISTING ELECTRIC LINE
	EXISTING TELEPHONE LINE
	EXISTING OVERHEAD WIRES
	EXISTING UNDERGROUND SEWER MAIN



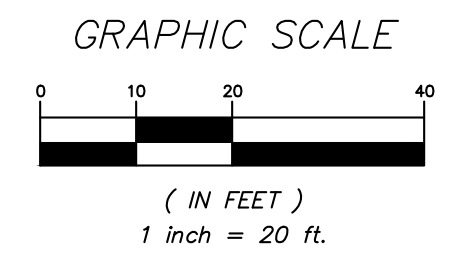
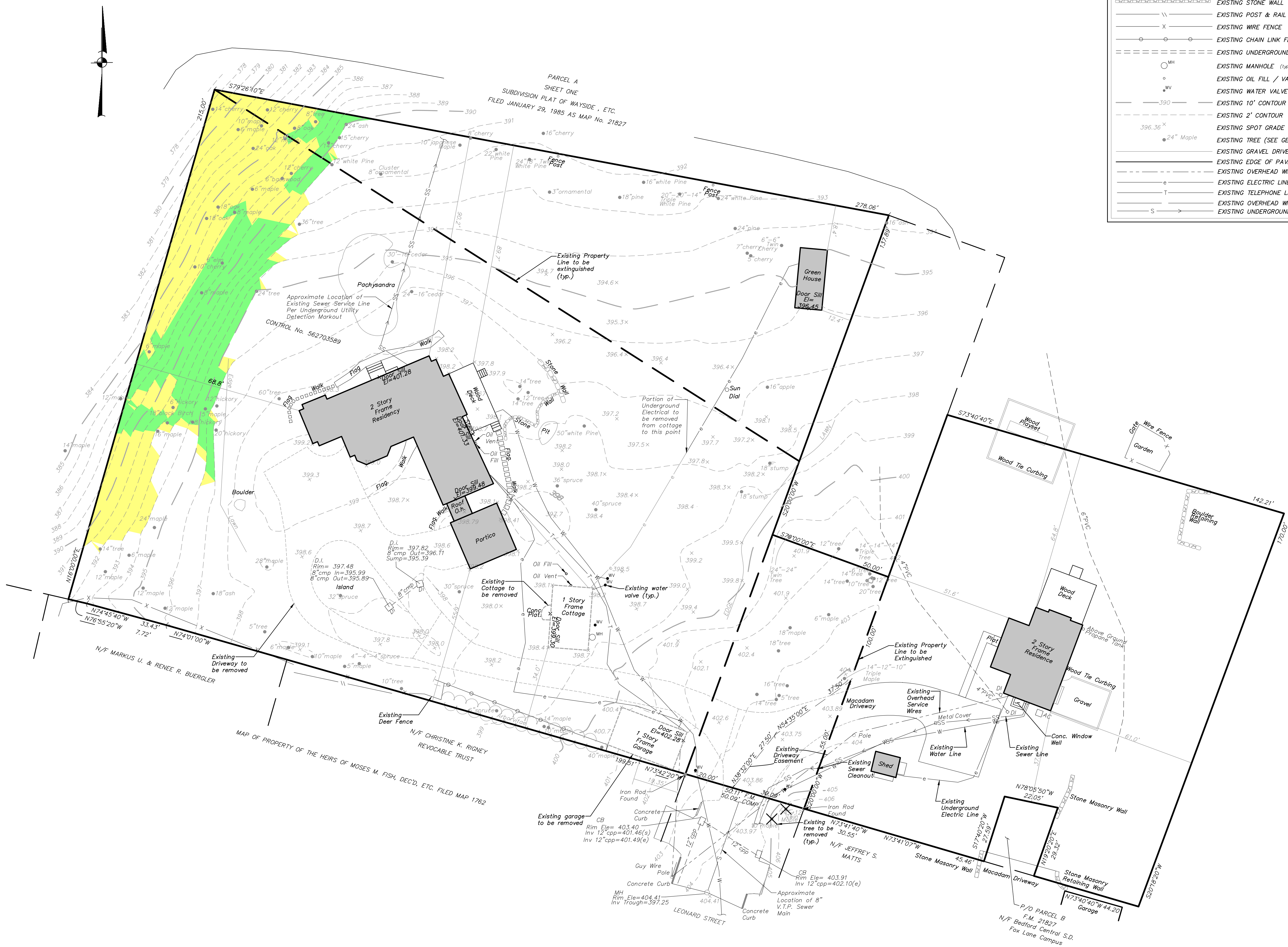
LOCATION MAP SCALE: 1" = 500'±

OWNER/APPLICANT:
LILIAN BURLGER
2 1/2 LEONARD STREET
MOUNT KISCO, NY 10549

SITE DATA:
Zone: RS-12 & RM-10
Total Acreage: 2.0 AC ±
Tax Map No.: 80.26-1-18
80.26-2-14.1
80.26-2-14.2

OWNER/APPLICANT:
MARTIN SMOLLER & LISA MITCHELL
1 LEONARD STREET
MOUNT KISCO, NY 10549

- GENERAL NOTES:**
- Topography, property boundaries, and existing conditions shown hereon are taken from survey titled "Topographic Survey Prepared for Lilian Burgler and Ian B. Bol", prepared by H. Stanley Johnson and Company Land Surveyors, P.C. last revised June 20, 2022.
 - Slope calculations prepared utilizing topography from the aforementioned survey in conjunction with slope and topography information gathered from Mapping Westchester County, accessed 2021.
 - Twelve (12) Green Giant Arborvitae were previously installed by owner and are shown based on locations provided by owner. The 16.67' strip is to remain in its present condition and no additional plantings are intended to be installed based on these drawings.



NO.	DATE	REVISION	BY
8	1-3-23	REVISED FOR PLANNING BOARD SUBMISSION	JLL
7	11-22-22	REVISED FOR PLANNING BOARD SUBMISSION	JLL
6	9-6-22	REVISED FOR PLANNING BOARD SUBMISSION	JLL
5	6-21-22	REVISED FOR PLANNING BOARD SUBMISSION	JLL
4	10-19-21	REVISED FOR PLANNING BOARD SUBMISSION	PJM
3	8-24-21	REVISED FOR PLANNING BOARD SIGN-OFF	JLT
2	5-11-21	REVISED PER BUILDING INSPECTOR COMMENTS	ERA
1	3-2-21	REVISED FOR PLANNING BOARD SUBMISSION	JFR

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PROJECT:
BURGLER/SMOLLER SUBDIVISION

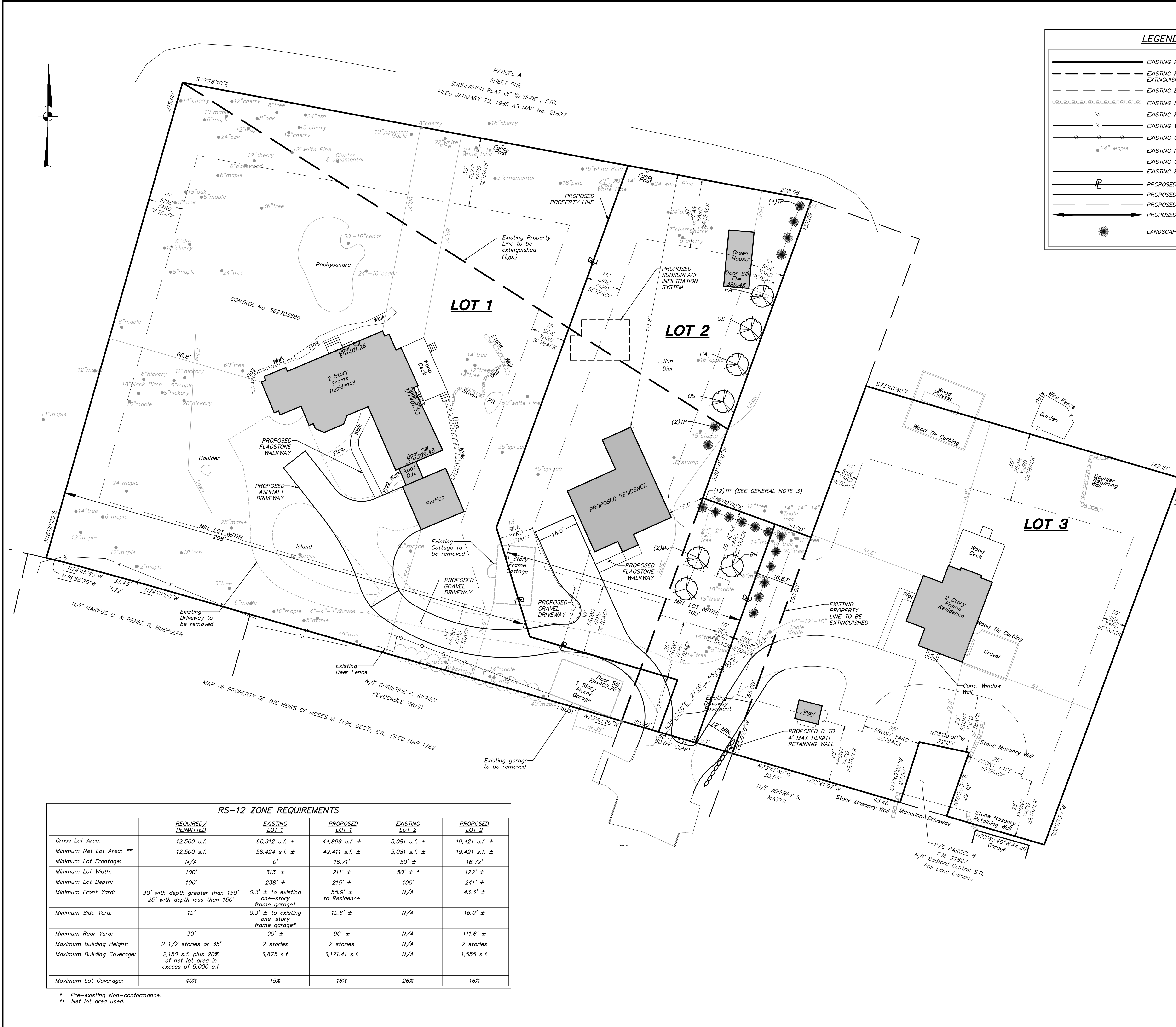
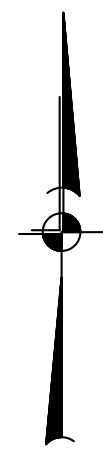
2 1/2 & 1 Leonard Street, Village of Mt. Kisco, Westchester County, NY

DRAWING:
EXISTING CONDITIONS AND REMOVALS PLAN

PROJECT NUMBER	20184.100	PROJECT MANAGER	R.D.W.	DRAWING NO.	SHEET
DATE	1-4-21	DRAWN BY	E.R.A.	EX-1	1/5
SCALE	1" = 20'	CHECKED BY	J.L.L.		

ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 7209 OF ARTICLE 145 OF THE EDUCATION LAW.

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LEGEND

---	EXISTING PROPERTY LINE
- - - -	EXISTING PROPERTY LINE TO BE EXTINGUISHED
- - - - -	EXISTING EASEMENT
=====	EXISTING STONE WALL
	EXISTING POST & RAIL FENCE
X	EXISTING WIRE FENCE
○	EXISTING CHAIN LINK FENCE
●	EXISTING INDIVIDUAL TREE
○	EXISTING GRAVEL DRIVE
---	EXISTING EDGE OF PAVEMENT
---	PROPOSED PROPERTY LINE
---	PROPOSED ASPHALT DRIVE
---	PROPOSED YARD SETBACK
---	PROPOSED LOT WIDTH
●	LANDSCAPING PLANTED BY OWNER

NET LOT AREA CALCULATION:

N = GLA-50% SSO-25% SS-50% WL-WC

Gross Lot Area (GLA)
Wetlands (WL)
Watercourses (WC)
50% Steep Slopes Over 25% (SSO)
25% Steep Slopes 20-25% (SS)
Net Lot Area (N)

* The Village of Mt. Kisco Code §110-33.1.A.(1) & B(1) require a Net Lot Area Calculation for every proposed development where the parcel is in excess of 40,000 s.f. The existing lot 2 is not in excess of 40,000 s.f. therefore, a net lot area calculation is not provided.

EXISTING LOT 1
60,912 s.f.-50% (1,462 s.f.)-25% (1026 s.f.)-50% (0 s.f.)-0 s.f. = 58,424 s.f.

PROPOSED LOT 1
44,899 s.f.-50% (1,462 s.f.)-25% (1026 s.f.)-50% (0 s.f.)-0 s.f. = 42,411 s.f.

PROPOSED LOT 2
19,421 s.f.-50% (0 s.f.)-25% (0 s.f.)-50% (0 s.f.)-0 s.f. = 19,421 s.f.

NOTE: A calculation for Lot 3 has not been provided as this lot is acquiring additional lot area for access.

PLANT LIST

QTY:	KEY	SYMBOL	BOTANICAL/Common NAME	SIZE	ROOT
SHADE TREES					
1	BN	●	Betula nigra 'Heritage' / Heritage Birch	10' HT.	B&B
2	MJ	●	Magnolia x 'Jane' / Jane Magnolia	8' HT.	B&B
2	PA	●	Platanus americanus / Sycamore	10' HT.	B&B
2	OS	●	Quercus sp. / Oak sp.	10' HT.	B&B
EVERGREEN TREES					
18	TP	●	Thuja standishii x plicata 'Green Giant' / Green Giant Arborvitae	5' HT.	B&B

RM-10 ZONE REQUIREMENTS

	REQUIRED/ PERMITTED	EXISTING LOT 3	PROPOSED LOT 3
Gross Lot Area:	6,250 s.f.	23,429 s.f.	25,102 s.f.
Minimum Net Lot Area: **	6,250 s.f.	23,429 s.f.	25,102 s.f.
Minimum Lot Frontage:	N/A	0'	16.67'
Minimum Lot Width:	50'	169'	169'
Minimum Lot Depth:	100'	141'	141'
Minimum Front Yard:	25'	22.2' ± to existing shed *	22.2' ± to existing shed *
Minimum Side Yard:	10' for lots 70' or greater in width	51.6' ±	51.6' ±
Minimum Rear Yard:	30' for lots with a depth of 125' or greater; for lots with a depth of less than 125', 30' minus one foot for every 2 1/2' that the lot depth is less than 125', but in no case less than 20'	64.8' ±	64.8' ±
Maximum Building Height:	2 1/2 stories or 35'	Less than 35'	Less than 35'
Maximum Building Coverage:	2,150 s.f. plus 20% of net lot area in excess of 9,000 s.f.	1,236 s.f.	1,236 s.f.
Maximum Lot Coverage:	40%	15.9%	15.3%

* Pre-existing Non-conformance.
** Net lot area used.

RS-12 ZONE REQUIREMENTS

	REQUIRED/ PERMITTED	EXISTING LOT 1	PROPOSED LOT 1	EXISTING LOT 2	PROPOSED LOT 2
Gross Lot Area:	12,500 s.f.	60,912 s.f. ±	44,899 s.f. ±	5,081 s.f. ±	19,421 s.f. ±
Minimum Net Lot Area: **	12,500 s.f.	58,424 s.f. ±	42,411 s.f. ±	5,081 s.f. ±	19,421 s.f. ±
Minimum Lot Frontage:	N/A	0'	16.71'	50' ±	16.72'
Minimum Lot Width:	100'	313' ±	211' ±	50' ± *	122' ±
Minimum Lot Depth:	100'	238' ±	215' ±	100'	241' ±
Minimum Front Yard:	30' with depth greater than 150' 25' with depth less than 150'	0.3' ± to existing one-story frame garage*	55.9' ± to Residence	N/A	43.3' ±
Minimum Side Yard:	15'	0.3' ± to existing one-story frame garage*	15.6' ±	N/A	16.0' ±
Minimum Rear Yard:	30'	90' ±	90' ±	N/A	111.6' ±
Maximum Building Height:	2 1/2 stories or 35'	2 stories	2 stories	N/A	2 stories
Maximum Building Coverage:	2,150 s.f. plus 20% of net lot area in excess of 9,000 s.f.	3,875 s.f.	3,171.41 s.f.	N/A	1,555 s.f.
Maximum Lot Coverage:	40%	15%	16%	26%	16%

* Pre-existing Non-conformance.
** Net lot area used.

*REFER TO D-2 FOR ADDITIONAL INFORMATION REGARDING THE PROPOSED EASEMENTS

NO.	DATE	REVISION	BY
8	1-3-23	REVISED FOR PLANNING BOARD SUBMISSION	JFR
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1	3-2-21	REVISED FOR PLANNING BOARD SUBMISSION	JFR

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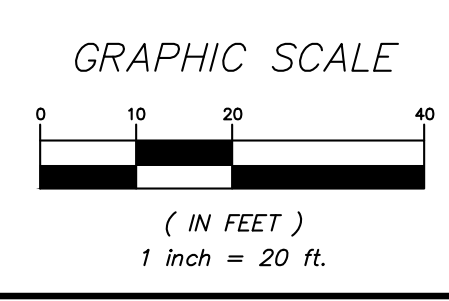
PROJECT: **BÜRGLER/SMOLLER SUBDIVISION**

2 1/2 & 1 Leonard Street, Village of Mt. Kisco, Westchester County, NY

DRAWING: **SITE PLAN**

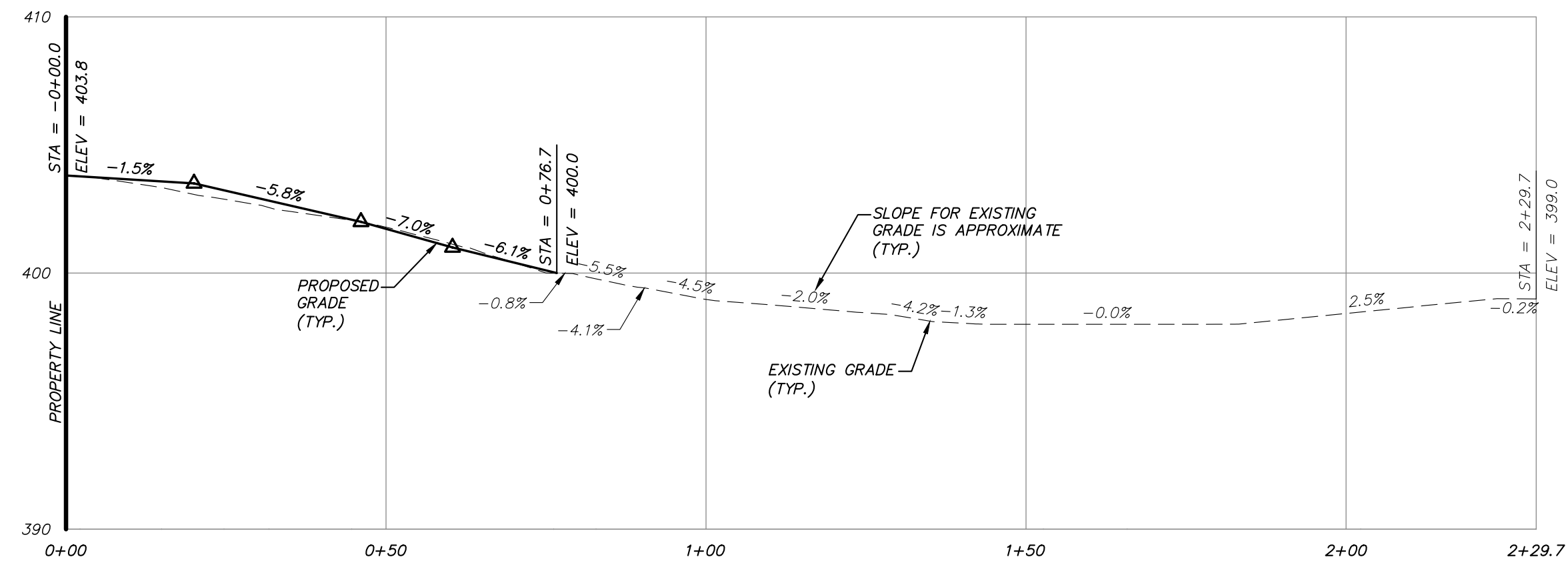


PROJECT NUMBER	20184.100	PROJECT MANAGER	R.D.W.	DRAWING NO.	SHEET
DATE	1-4-21	DRAWN BY	E.R.A.	SP-1	2
SCALE	1" = 20'	CHECKED BY	J.L.L.		



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LOT 1 DRIVEWAY TO EXISTING RESIDENCE
 SCALE: HORIZ. 1" = 20'
 VER. 1" = 5'

LEGEND

- EXISTING PROPERTY LINE
- - - EXISTING PROPERTY LINE TO BE EXTINGUISHED
- - - EXISTING EASEMENT
- EXISTING STONE WALL
- EXISTING POST & RAIL FENCE
- X EXISTING WIRE FENCE
- EXISTING CHAIN LINK FENCE
- EXISTING UNDERGROUND DRAINAGE PIPE
- EXISTING MANHOLE (type unidentified)
- EXISTING OIL FILL / VALVE
- EXISTING WATER VALVE
- EXISTING 10' CONTOUR
- EXISTING 2' CONTOUR
- EXISTING SPOT GRADE
- EXISTING GRAVEL DRIVE
- EXISTING EDGE OF PAVEMENT
- EXISTING OVERHEAD WIRES
- EXISTING ELECTRIC LINE
- EXISTING TELEPHONE LINE
- EXISTING OVERHEAD WIRES
- EXISTING UNDERGROUND SEWER MAIN
- PROPOSED PROPERTY LINE
- PROPOSED ASPHALT DRIVE
- PROPOSED 10' CONTOUR
- PROPOSED 2' CONTOUR
- PROPOSED 1' CONTOUR
- x100.5 x100.5 PROPOSED SPOT ELEVATION
- PROPOSED SILT FENCE
- PROPOSED CONSTRUCTION FENCE
- PROPOSED LIMITS OF DISTURBANCE
- PROPOSED TEMPORARY SOIL STOCKPILE
- PROPOSED STABILIZED CONSTRUCTION ENTRANCE
- PROPOSED DRAINAGE MANHOLE
- PROPOSED CATCH BASIN
- PROPOSED END SECTION
- PROPOSED HDPE DRAINAGE PIPE
- PROPOSED 1" PE WATER SERVICE LINE
- PROPOSED 4" HEAVY DUTY CAST IRON SEWER SERVICE
- PROPOSED 6" PVC SDR 35 ROOF DRAIN
- PROPOSED ELECTRIC LINE

SEWER MAIN NOTES

- Contractor shall perform a test pit to locate the end of the sewer service line and a test pit at the proposed terminal manhole location. A shop drawing shall be provided to the Design Engineer and Village prior to installation.
- Smaller Sewer Service: The Smaller sewer service location shall be verified and if downstream of the proposed terminal manhole, location can remain. Otherwise it shall be relocated as shown.

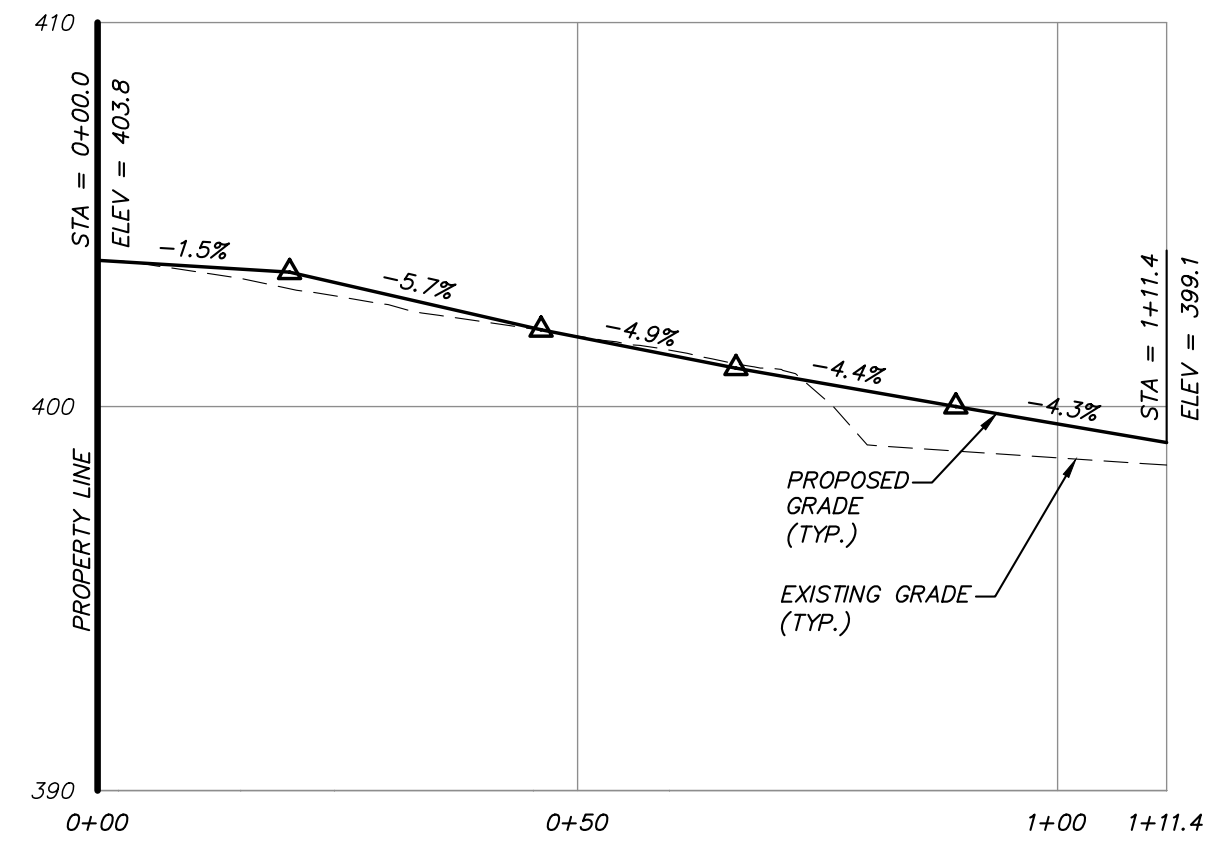
PROPOSED WATER SERVICE CONNECTION FOR LOT 2 PART OF VILLAGE CONTRACT FOR PROPOSED WATER MAIN REPLACEMENT IN LEONARD STREET.
 NEW HYDRANT WITH 6" VALVE AFTER NEW 8" TO 6" REDUCER AS PROVIDED BY VILLAGE ENGINEER
 CONTRACTOR TO PROVIDE TERMINAL MANHOLE ON THE END OF THE SEWER LINE
 NEW 8" WATERMAIN ENCASED IN K-CRETE AS PROVIDED BY VILLAGE ENGINEER

GRADING, UTILITIES, AND EROSION & SEDIMENT CONTROL PLAN

SCALE: 1" = 20'

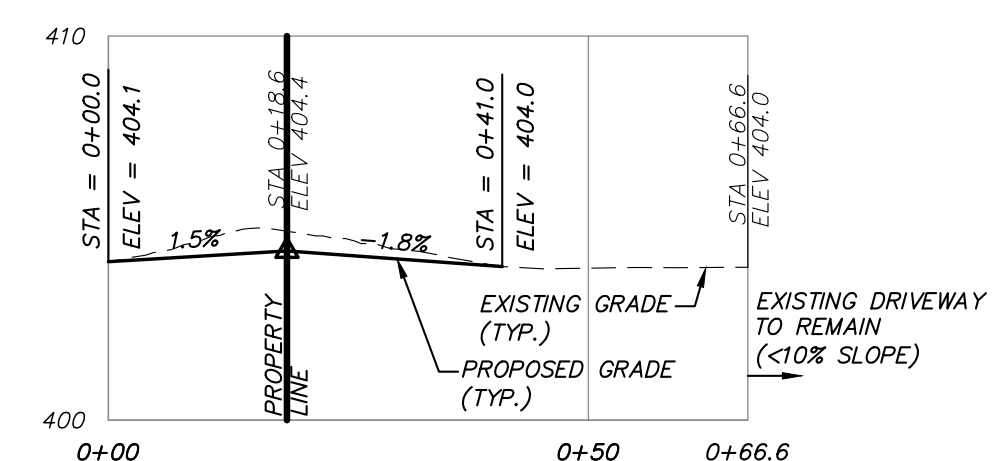
PROPOSED DRAINAGE TABLE

STRUCTURE	RIM	INV.	PIPE	LENGTH	SLOPE
DI 3	399.0	396.1	8" HDPE	46 L.F.	1.7%
DMH 2	398.2	395.3	8" HDPE	32 L.F.	5.0%
2.1P	—	393.3	—	—	—



LOT 2 DRIVEWAY TO PROPOSED RESIDENCE

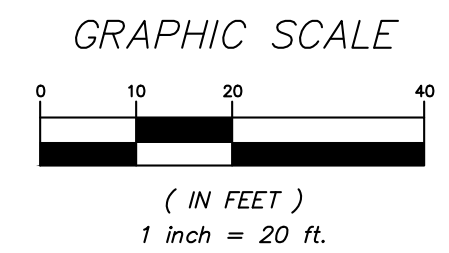
SCALE: HORIZ. 1" = 20'
 VER. 1" = 5'



PROPOSED LOT 3 DRIVEWAY PROFILE

SCALE: HORIZ. 1" = 20'
 VER. 1" = 5'

NOTE: SLOPE / EXISTING GRADE IS APPROXIMATE



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6	11-22-22	REVISED FOR PLANNING BOARD SUBMISSION	JLL
5	9-6-22	REVISED FOR PLANNING BOARD SUBMISSION	JLL
4	6-21-22	REVISED FOR PLANNING BOARD SUBMISSION	JLL
3	10-18-21	REVISED FOR PLANNING BOARD SUBMISSION	PJM
2	8-24-21	REVISED FOR PLANNING BOARD SIGN-OFF	JLT
1	5-11-21	REVISED PER BUILDING INSPECTOR COMMENTS	ERA

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PROJECT: **BÜRGLER/SMOLLER SUBDIVISION**
 2 1/2 & 1 Leonard Street, Village of Mt. Kisco, Westchester County, NY
 DRAWING: **GRADING, UTILITIES, AND EROSION & SEDIMENT CONTROL PLAN**

PROJECT NUMBER: 20184.100 PROJECT MANAGER: R.D.W.
 DATE: 3-2-21 DRAWN BY: J.F.R.
 SCALE: AS NOTED CHECKED BY: J.L.L.

DRAWING NO. **SP-2** SHEET 3 OF 5

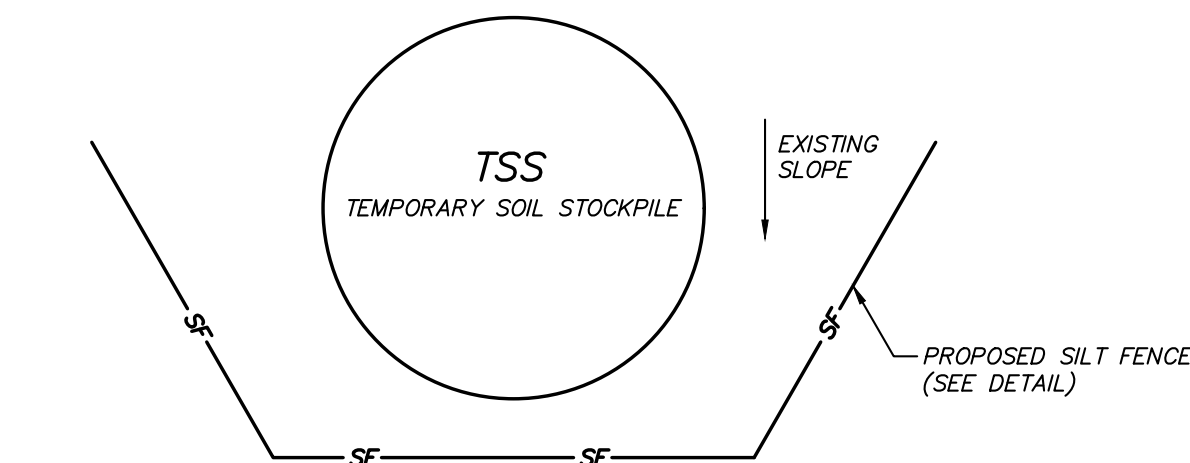


CONSTRUCTION SEQUENCE:

1. Install stabilized construction entrance at driveway entrance.
2. Install silt fence in general locations indicated on the plan & cordon off infiltration area.
3. Begin clearing and grubbing operations associated with house, driveway and stormwater areas.
4. Strip and stockpile topsoil on site for later use in lawn and landscape areas.
5. Begin excavation for foundation, lot grading, and construction of driveway.
6. Begin house construction and installation of water and sewer services, and stormwater areas.
7. Install Infiltration Systems and connect Roof Leader Drains. Do not connect surface inlets until upstream tributary areas reach final stabilization.
8. Upon completion of grading operations, install finished driveway surfaces.
9. Topsoil, seed, and mulch all disturbed areas as soon as practical in accordance with the Erosion and Sediment Control Notes contained on this page.

EROSION & SEDIMENT CONTROL NOTES:

1. The owner's field representative (O.F.R.) will be responsible for the implementation and maintenance of erosion and sediment control measures on this site prior to and during construction.
2. All construction activities involving the removal or disposition of soil are to be provided with appropriate protective measures to minimize erosion and contain sediment disposition within. Minimum soil erosion and sediment control measures shall be implemented as shown on the plans and shall be installed in accordance with "New York Standards and Specifications For Erosion and Sediment Control," latest edition.
3. Wherever feasible, natural vegetation should be retained and protected. Disturbance shall be minimized in the areas required to perform construction. No more than 5 acres of unprotected soil shall be exposed at any one time.
4. When land is exposed during development, the exposure shall be kept to the shortest practical period of time. In the areas where soil disturbance actively has temporarily or permanently ceased, the application of soil stabilization measures must be initiated by the end of the next business day and completed within seven (7) days from the date the current soil disturbance activity ceased. Disturbance shall be minimized to the areas required to perform construction.
5. Silt fence shall be installed as shown on the plans prior to beginning any clearing, grubbing or earthwork.
6. All topsoil to be stripped from the area being developed shall be stockpiled and immediately seeded for temporary stabilization. Ryegrass (annual or perennial) at a rate of 30 lbs. per acre shall be used for temporary seeding in spring, summer or early fall. 'Aristook' Winter Rye (cereal rye) shall be used for temporary seeding in late fall and winter.
7. Any disturbed areas not subject to further disturbance or construction traffic, permanent or temporary, shall have soil stabilization measures initiated for permanent vegetation cover in combination with a suitable mulch within 1 business day of final grading. All seeded areas to receive a minimum 4" topsoil (from stockpile area) and be seeded and mulched as follows:
 - Seed mixture to be planted between March 21 and May 20, or between August 15 and October 15 or as directed by project representative at a rate of 100 pounds per acre in the following proportions:
 - Kentucky Bluegrass 20%
 - Creeping Red Fescue 40%
 - Perennial Ryegrass 20%
 - Annual Ryegrass 20%
 - Mulch: Salt hay or small grain straw applied at a rate of 90 lbs./1000 S.F. or 2 tons/acre, to be applied and anchored according to "New York Standards and Specification For Erosion and Sediment Control," latest edition.
8. Grass seed mix may be applied by either mechanical or hydroseeding methods. Seeding shall be performed in accordance with the current edition of the "NYSDOT Standard Specification, Construction and Materials, Section 610-3.02, Method No. 1". Hydroseeding shall be performed using materials and methods as approved by the site engineer.
9. Cut or fill slopes steeper than 3:1 shall be stabilized immediately after grading with Curlex I Single Net Erosion Control Blanket, or approved equal.
10. Paved roadways shall be kept clean at all times.
11. The site shall at all times be graded and maintained such that all stormwater runoff is diverted to soil erosion and sediment control facilities.
12. All storm drainage outlets shall be stabilized, as required, before the discharge points become operational.
13. Stormwater from disturbed areas must be passed through erosion control barriers before discharge beyond disturbed areas or discharged into other drainage systems.
14. Erosion and sediment control measures shall be inspected and maintained on a daily basis by the O.F.R. to insure that channels, temporary and permanent ditches and pipes are clear of debris, that embankments and berms have not been breached and that all straw bales and silt fences are intact. Any failure of erosion and sediment control measures shall be immediately repaired by the contractor and inspected for approval by the O.F.R. and/or site engineer.
15. Dust shall be controlled by sprinkling or other approved methods as necessary, or as directed by the O.F.R.
16. Cut and fills shall not endanger adjoining property, nor divert water onto the property of others.
17. All fills shall be placed and compacted in 6" lifts to provide stability of material and to prevent settlement.
18. The O.F.R. shall inspect downstream conditions for evidence of sedimentation on a weekly basis and after rainstorms.
19. As warranted by field conditions, special additional erosion and sediment control measures, as specified by the site engineer and/or the Town Engineer shall be installed by the contractor.
20. Erosion and sediment control measures shall remain in place until all disturbed areas are suitably stabilized.



NOTES:

1. AREA CHOSEN FOR STOCKPILE LOCATION SHALL BE DRY AND STABLE.
2. MAXIMUM SLOPE OF STOCKPILE SHALL BE 2:1.
3. UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE IMMEDIATELY SEEDING WITH K31 PERENNIAL TALL FESCUE.
4. ALL STOCKPILES SHALL BE PROTECTED WITH SILT FENCING INSTALLED ON THE DOWNGRADIENT SIDE.

TEMPORARY SOIL STOCKPILE DETAIL
(N.T.S.)

REQUIRED EROSION CONTROL SWPPP CONTENTS:

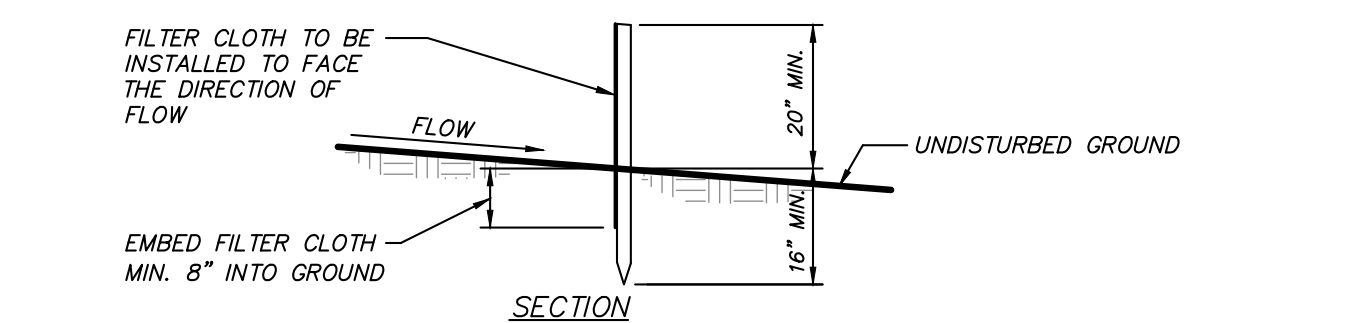
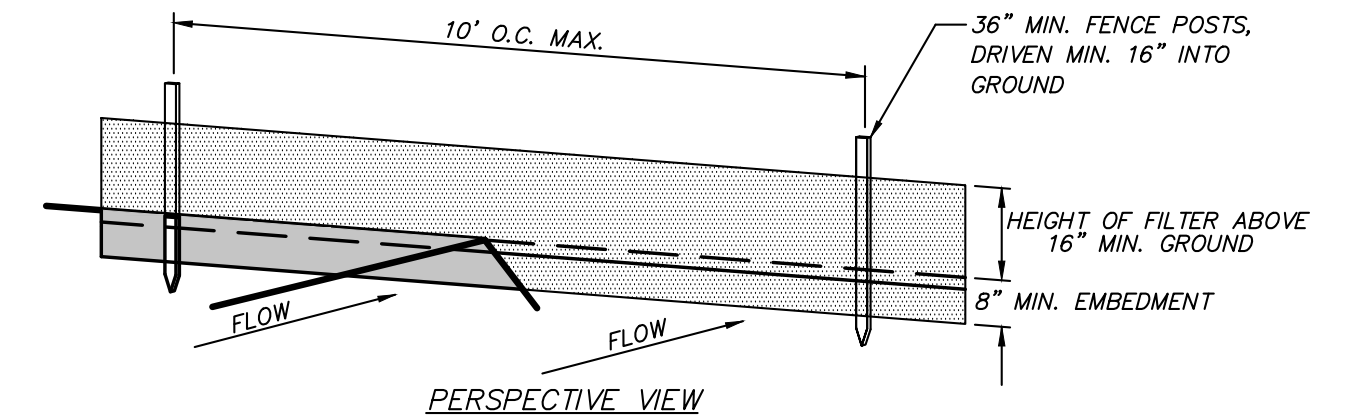
Pursuant to the NYSDEC "SPDES General Permit for Stormwater Discharges from Construction Activity" (GP-0-20-001), all Stormwater Pollution Prevention Plan's (SWPPP) shall include erosion and sediment control practices designed in conformance with the most current version of the technical standard, "New York Standards and Specifications for Erosion and Sediment Control." Where erosion and sediment control practices are not designed in conformance with this technical standard, the owner or operator must demonstrate equivalence to the technical standard. The following list of required SWPPP components is provided in accordance with Part III.B.1a-1 of General Permit GP-0-20-001:

- a. Background information: The subject project consists of a proposed subdivision and construction of a cottage, driveway improvements and utility connections.
- b. Site map / construction drawing: These plans serve to satisfy this SWPPP requirement.
- c. Description of the soils present at the site: Onsite soils located within the proposed limits of disturbance consist of Charlton-Chatfield Complex (C/C) and Sutton Loam (SuL) as identified on the Soil Conservation Service Web Soil Survey. These soil types belong to the Hydrologic Soil Group "B".
- d. Construction phasing plan / sequence of operations: The Construction Sequence and phasing found on these plans provide the required phasing. A Construction Sequence and Erosion and Sediment Control Maintenance Schedule has been provided. The Erosion and Sediment Control Notes and Construction Sequence contained herein outline a general sequence of operations for the proposed project. In general all erosion and sediment control facilities shall be installed prior to commencement with land disturbing activities, and areas of disturbance shall be limited to the shortest period of time as practicable.
- e. Description of erosion and sediment control practices: This plan, and details / notes shown hereon serve to satisfy this SWPPP requirement.
- f. Temporary and permanent soil stabilization plan: The Sedimentation and Erosion Control Notes and Details provided hereon identify temporary and permanent stabilization measures to be employed with respect to specific elements of the project, and at the various stages of development.
- g. Site map / construction drawing: This plan serves to satisfy this SWPPP requirement.
- h. The dimensions, material specifications, installation details, and operation and maintenance requirements for all erosion and sediment control practices: The details, Erosion and Sediment Control Notes, and Erosion and Sediment Control Maintenance Schedule serve to satisfy this SWPPP requirement.
- i. An inspection schedule: Inspections are not required to be performed by a qualified professional as required by the General Permit GP-0-20-001.
- j. A description of pollution prevention measures that will be used to control litter, construction chemicals and construction debris: In general, all construction litter / debris shall be collected and removed from the site. The general contractor shall supply either waste barrels or dumpster for proper waste disposal. Any construction chemicals utilized during construction shall either be removed from site daily by the contractor or stored in a structurally sound and weatherproof building. No hazardous waste shall be disposed of onsite, and shall ultimately be disposed of in accordance with all federal, state and local regulations. Material Safety Data Sheets (MSDS), material inventory, and emergency contact numbers shall be maintained by the general contractor for all construction chemicals utilized onsite. Finally, temporary sanitary facilities (portable toilets) shall be provided onsite during the entire length of construction, and inspected weekly for evidence of leaking holding tanks.
- k. A description and location of any stormwater discharges associated with industrial activity other than construction at the site: There are no known industrial stormwater discharges present or proposed at the site.
- l. Identification of any elements of the design that are not in conformance with the technical standard, "New York Standards and Specifications for Erosion and Sediment Control." All proposed elements of this SWPPP have been designed in accordance with the "New York Standards and Specifications for Erosion and Sediment Control."

EROSION AND SEDIMENT CONTROL MAINTENANCE SCHEDULE

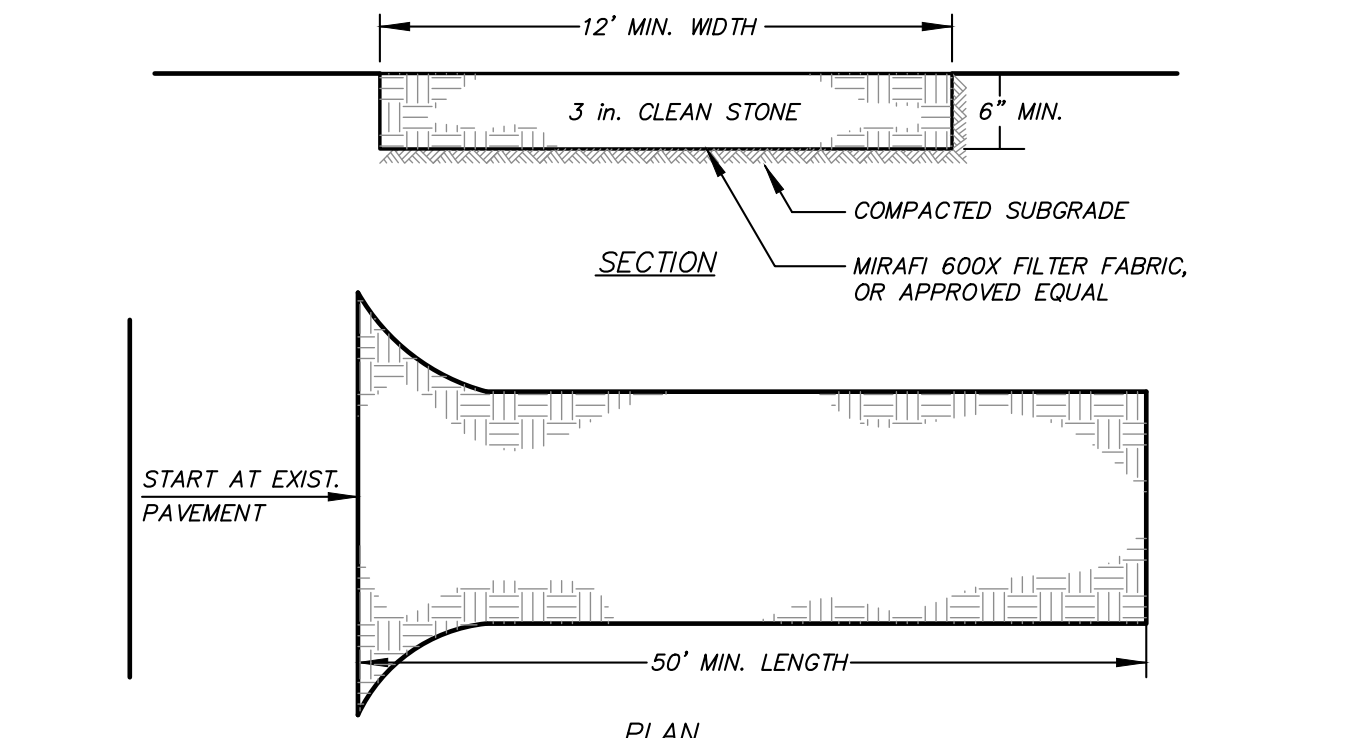
PRACTICE	MONITORING REQUIREMENTS			MAINTENANCE REQUIREMENTS	
	DAILY	WEEKLY	AFTER RAINFALL	DURING CONSTRUCTION	AFTER CONSTRUCTION
SILT FENCE BARRIER	-	Inspect	Inspect	Clean/Replace	Remove
STABILIZED CONSTRUCTION ENTRANCE	Inspect	-	Inspect	Clean/Replace Stone and Fabric	Remove
DUST CONTROL	Inspect	-	Inspect	Mulching/Spraying Water	N/A
*VEGETATIVE ESTABLISHMENT	-	Inspect	Inspect	Water/Reseed/Remulch	Reseed to 80% Coverage
INLET PROTECTION	-	Inspect	Inspect	Clean/Repair/Replace	Remove
SOIL STOCKPILES	-	Inspect	Inspect	Mulching/Silt Fence Repair	Remove
CONCRETE DRAINAGE STRUCTURES	-	Inspect	Inspect	Clean Sumps/Remove Debris/Repair/Replace	Clean Sumps/Remove Debris/Repair/Replace
DRAINAGE PIPES	-	Inspect	Inspect	Clean/Repair	Clean/Repair
ROAD & PAVEMENT	-	Inspect	Inspect	Clean	Clean

* Permanent vegetation is considered stabilized when 80% of the plant density is established. Erosion control measures shall remain in place until all disturbed areas are permanently stabilized.
 Note: The party responsible for implementation of the maintenance schedule during and after construction is:
 LILIAN BÜRGLER
 2 1/2 LEONARD STREET
 MOUNT KISCO, NY 10549
 and/or the current owner(s) of the subject property.



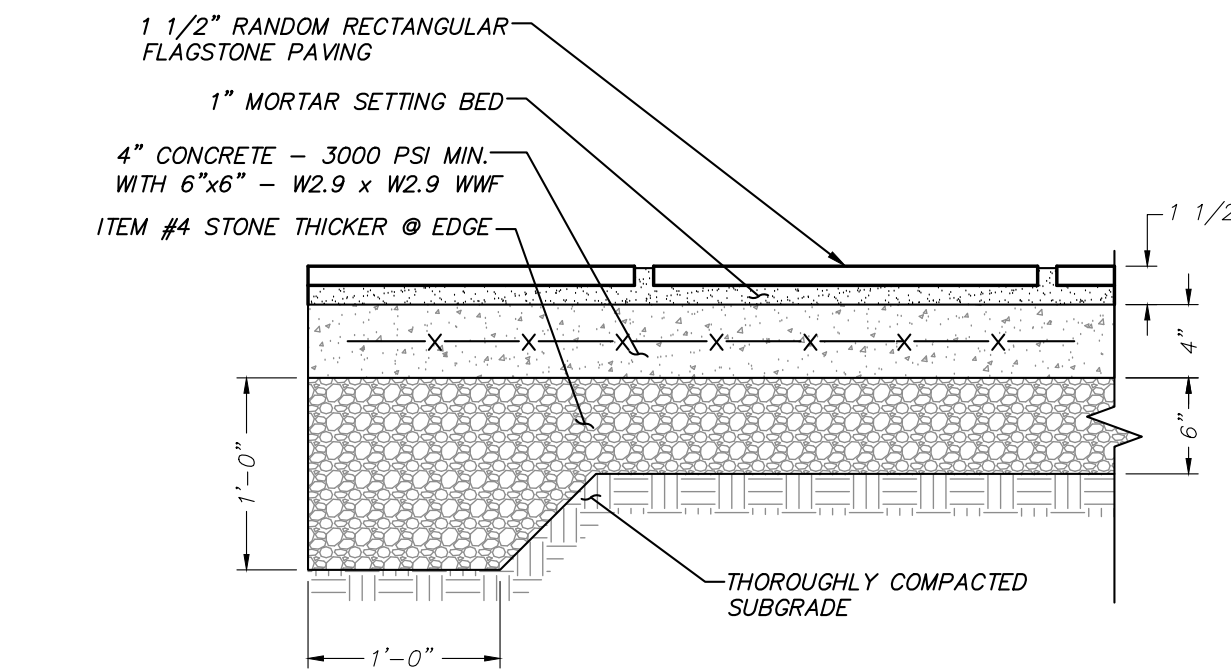
- CONSTRUCTION NOTES FOR FABRICATED SILT FENCE**
1. FILTER CLOTH TO BE FASTENED SECURELY TO POSTS AT TOP AND MID SECTION.
 2. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.
 3. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.
- POSTS: STEEL EITHER T OR U TYPE OR 2" HARDWOOD
 FILTER CLOTH: FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUAL
 PREFABRICATED UNIT: GEOFAB, ENVIROFENCE, OR APPROVED EQUAL

SILT FENCE DETAIL
(N.T.S.)

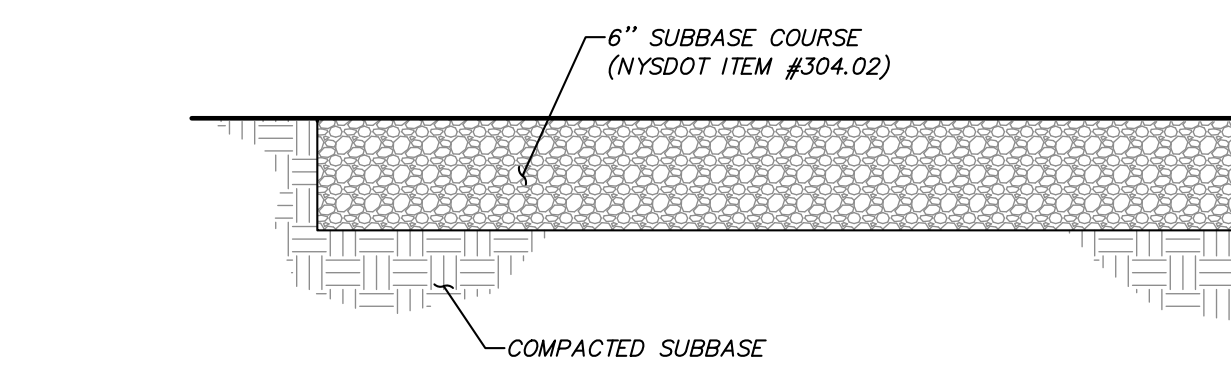


- INSTALLATION NOTES**
1. STONE SIZE - USE 3" STONE
 2. LENGTH - AS REQUIRED, BUT NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY.)
 3. THICKNESS - NOT LESS THAN SIX (6) INCHES.
 4. WIDTH - 12 FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCUR.
 5. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE. FILTER CLOTH WILL NOT BE REQUIRED ON A SINGLE FAMILY RESIDENCE LOT.
 6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
 7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT OF WAY THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT OF WAY MUST BE REMOVED IMMEDIATELY.
 8. WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT OF WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
 9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

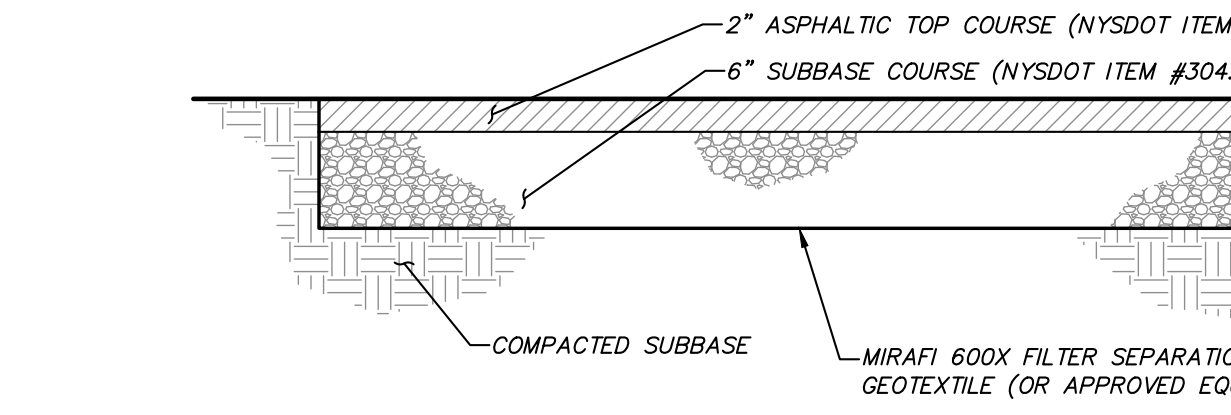
STABILIZED CONSTRUCTION ENTRANCE DETAIL
(N.T.S.)



FLAGSTONE PAVING DETAIL
(N.T.S.)



GRAVEL DRIVEWAY DETAIL
(N.T.S.)



ASPHALT DRIVEWAY PAVEMENT DETAIL
(N.T.S.)

NO.	DATE	REVISION	BY
8	1-3-23	REVISED FOR PLANNING BOARD SUBMISSION	JLL
7	11-22-22	REVISED FOR PLANNING BOARD SUBMISSION	JLL
6	9-6-22	REVISED FOR PLANNING BOARD SUBMISSION	JLL
5	6-21-22	REVISED FOR PLANNING BOARD SUBMISSION	JLL
4	10-19-21	REVISED FOR PLANNING BOARD SUBMISSION	PJM
3	8-24-21	REVISED FOR PLANNING BOARD SIGN-OFF	JLT
2	5-11-21	REVISED PER BUILDING INSPECTOR COMMENTS	ERA
1	3-2-21	REVISED FOR PLANNING BOARD SUBMISSION	JFR

INSITE
ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.

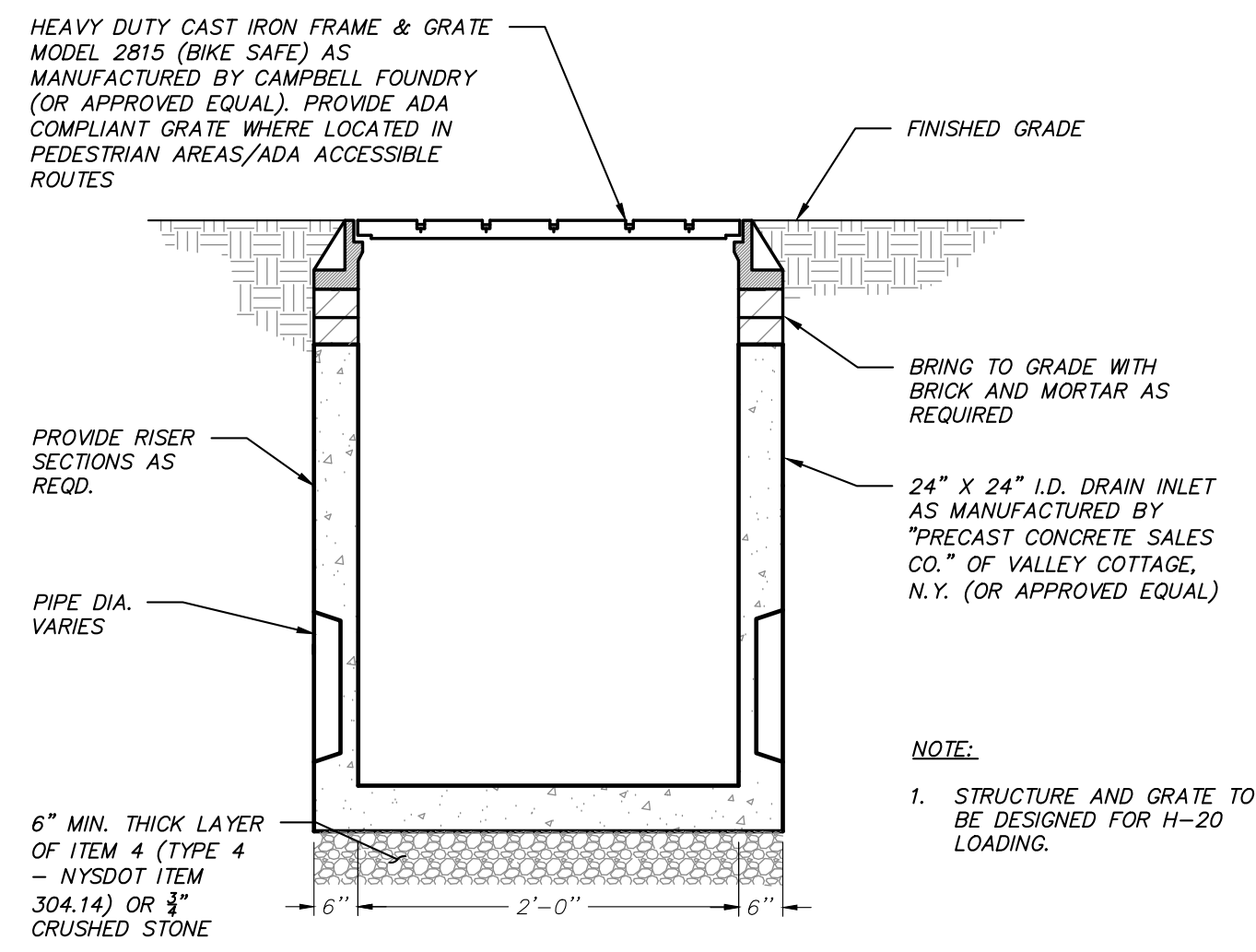
3 Garrett Place
Carmel, NY 10512
(845) 225-9690
(845) 225-9717 fax
www.insite-eng.com

PROJECT: BÜRGLER/SMOLLER SUBDIVISION
 2 1/2 & 1 Leonard Street, Village of Mt. Kisco, Westchester County, NY

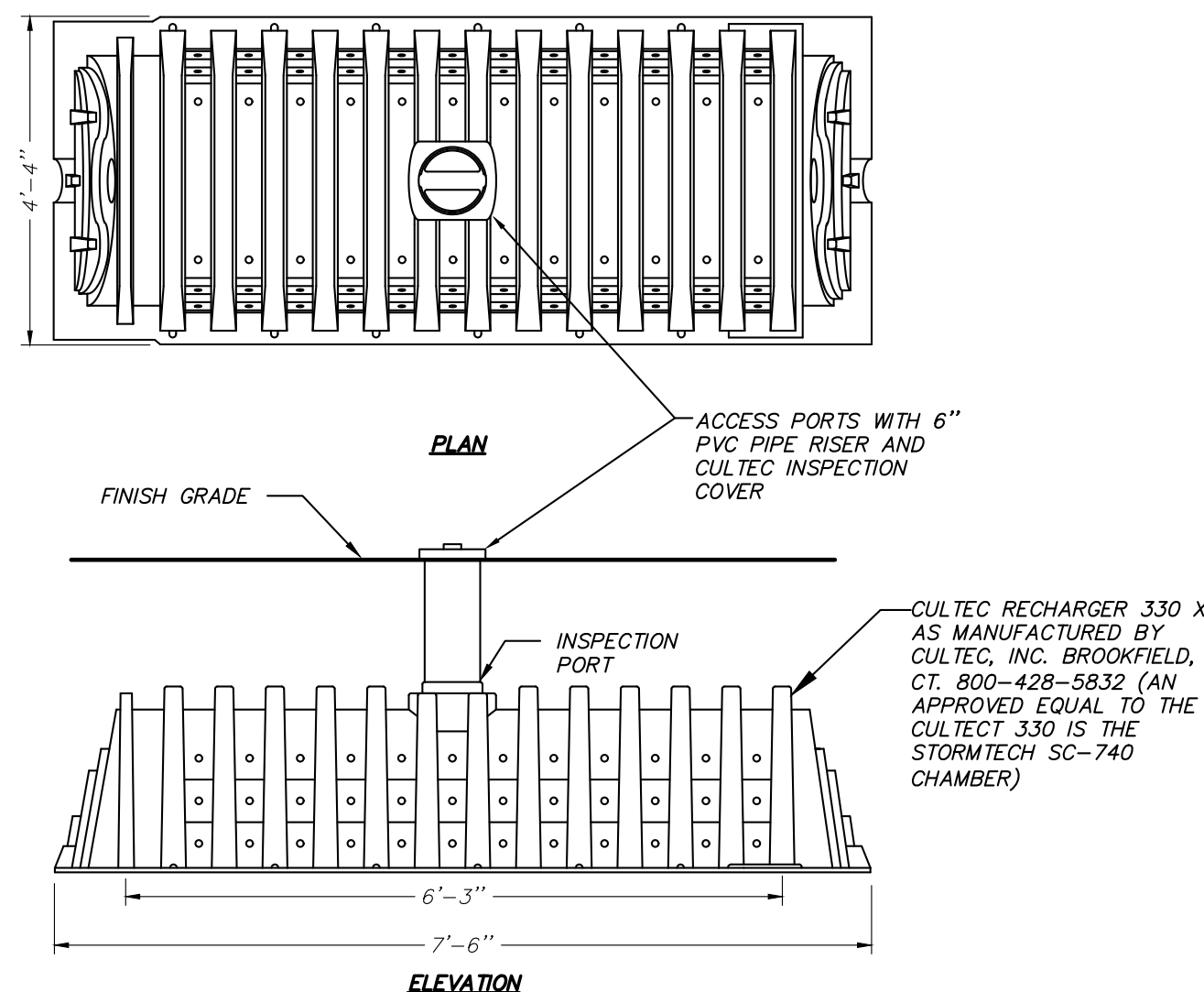
DRAWING: DETAILS

PROJECT NUMBER: 20184.100 PROJECT MANAGER: R.D.W.
 DATE: 1-4-21 DRAWN BY: E.R.A.
 SCALE: AS SHOWN CHECKED BY: J.L.L.

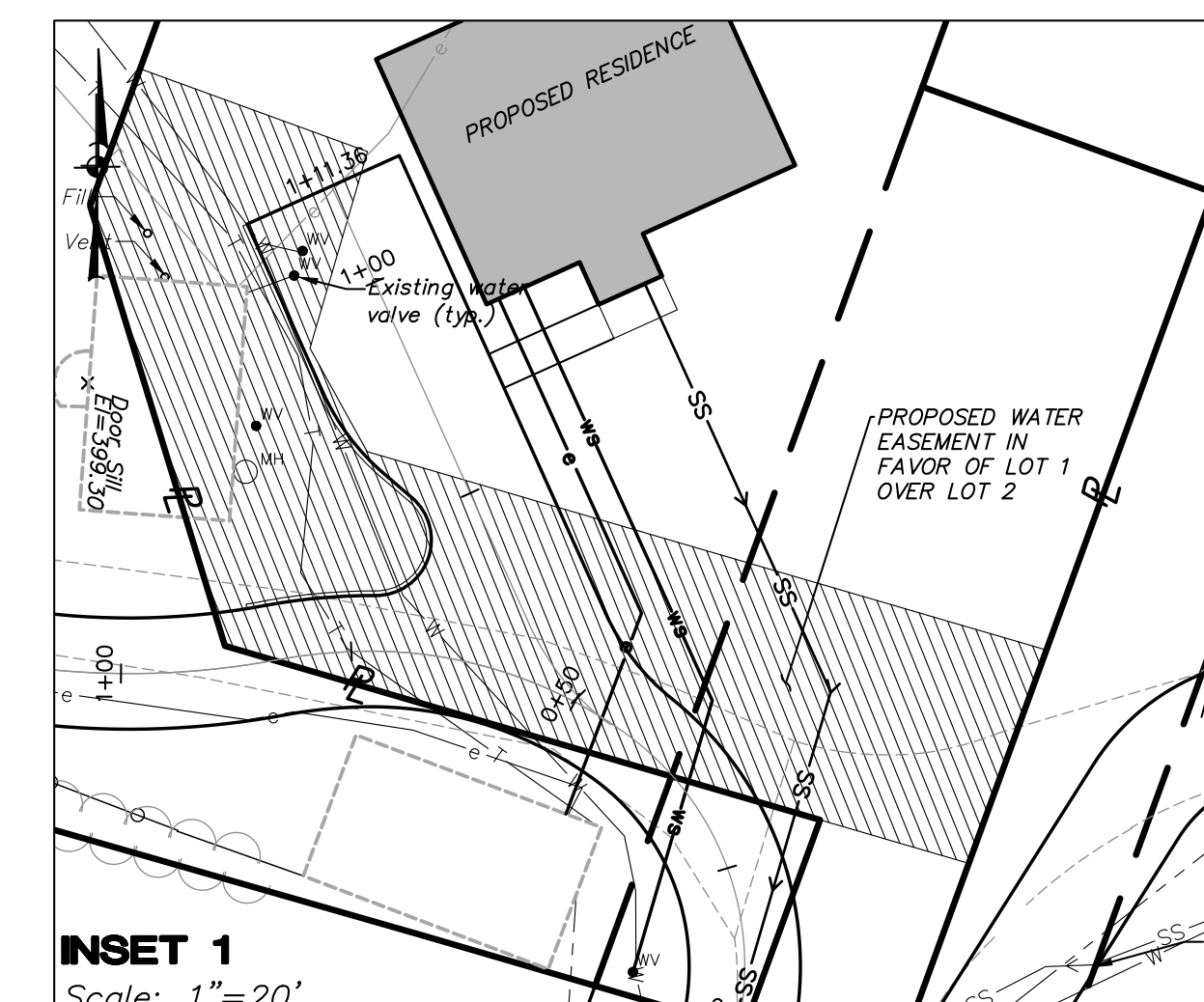
DRAWING NO. SHEET: D-1 4/5



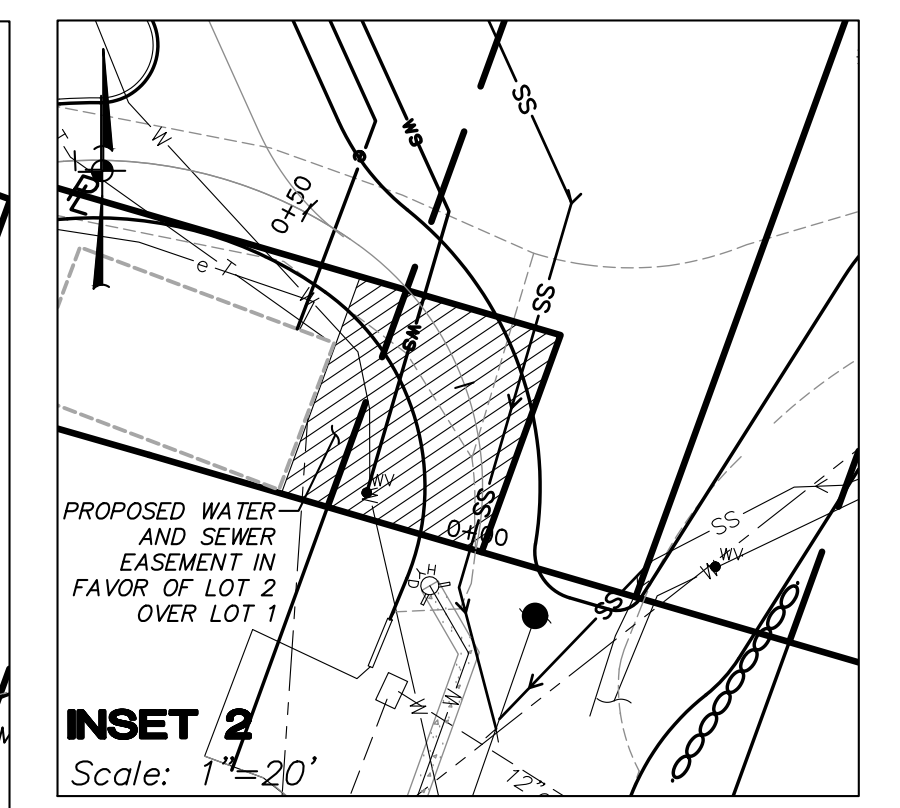
24" X 24" DRAIN INLET DETAIL
(N.T.S.)



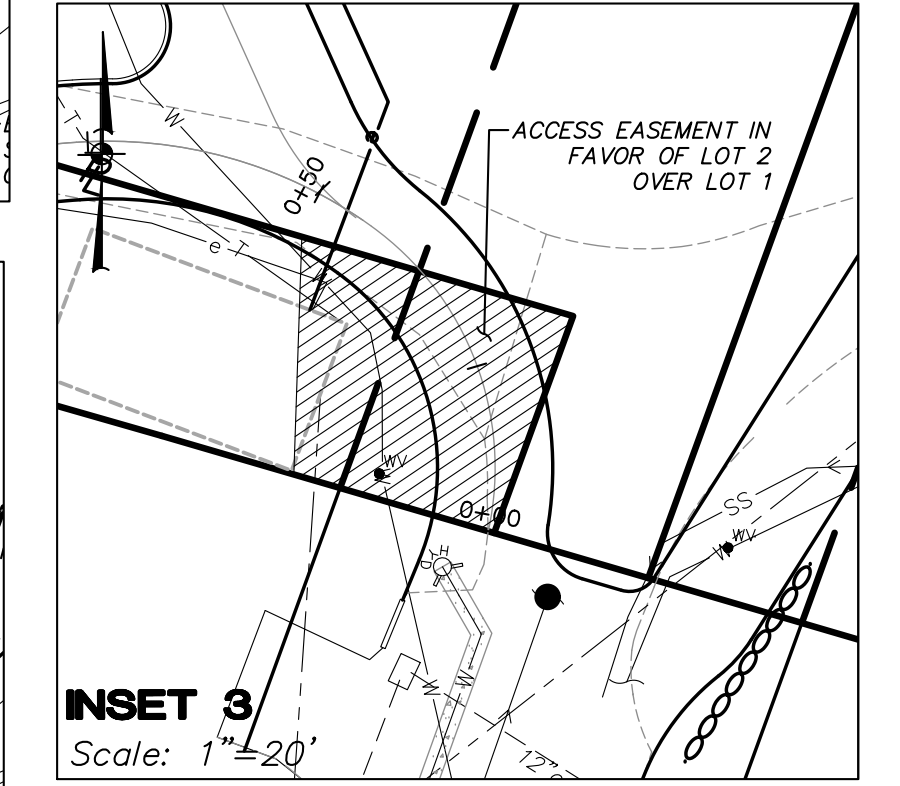
TYPICAL STORMWATER INFILTRATION SYSTEM DETAIL
(N.T.S.)



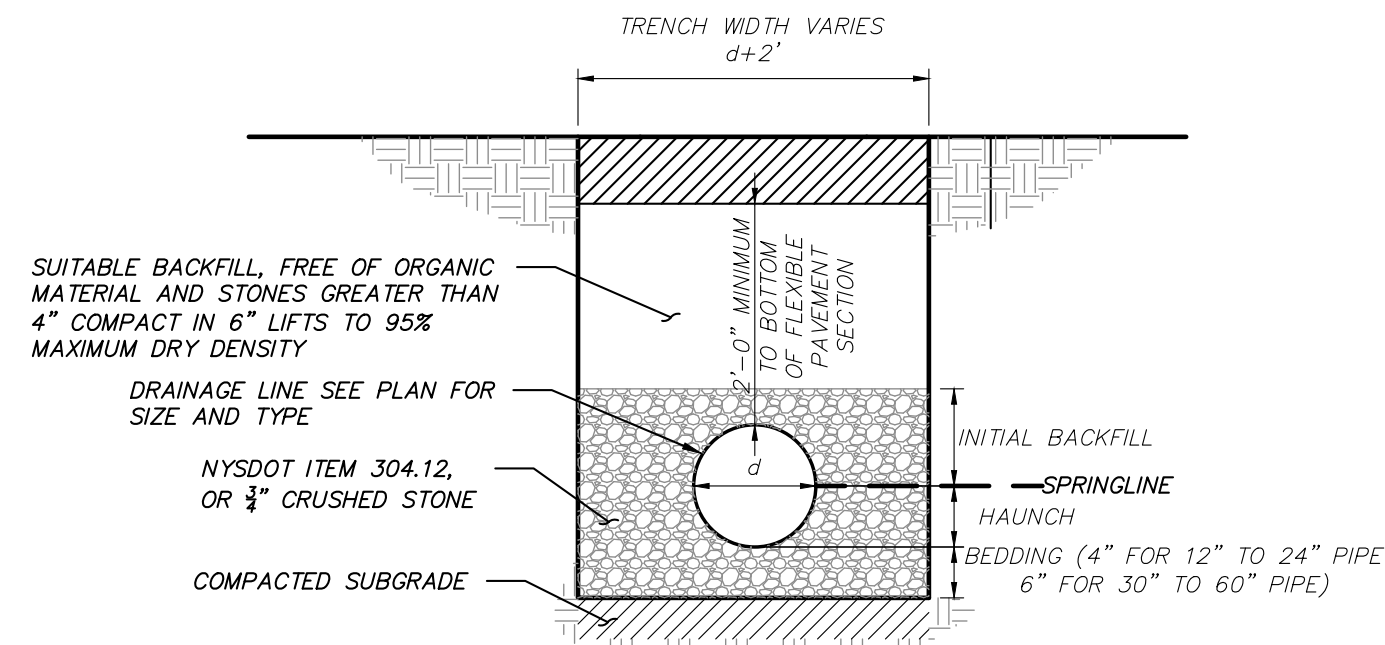
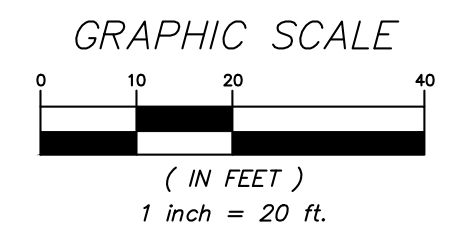
INSET 1
Scale: 1"=20'



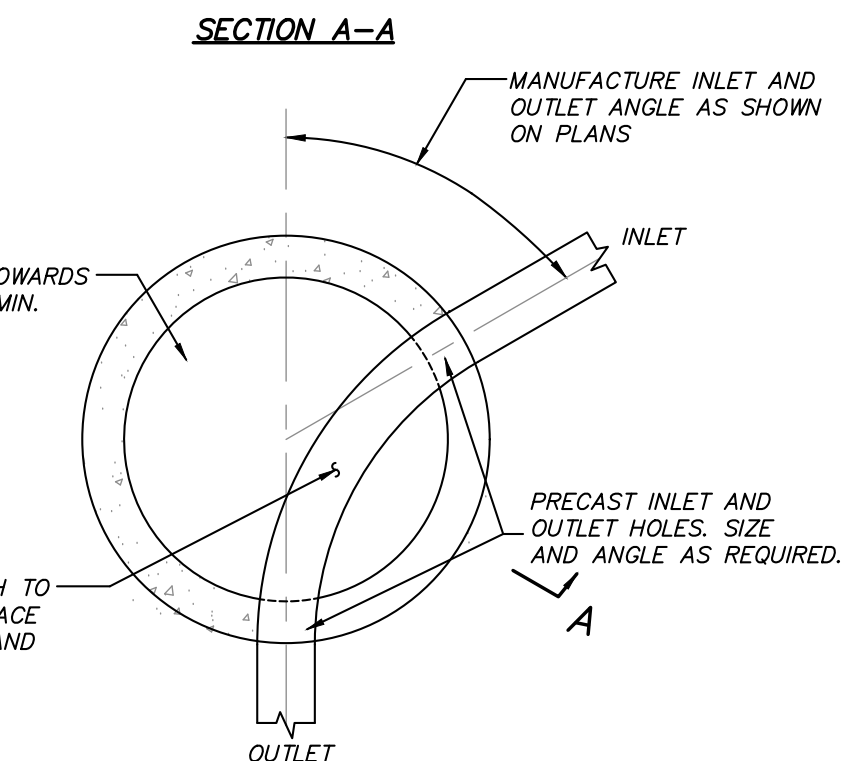
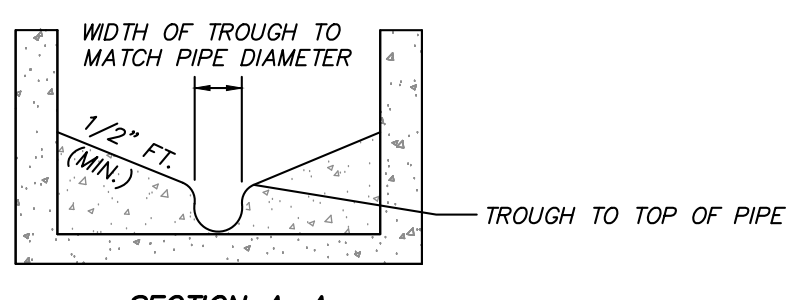
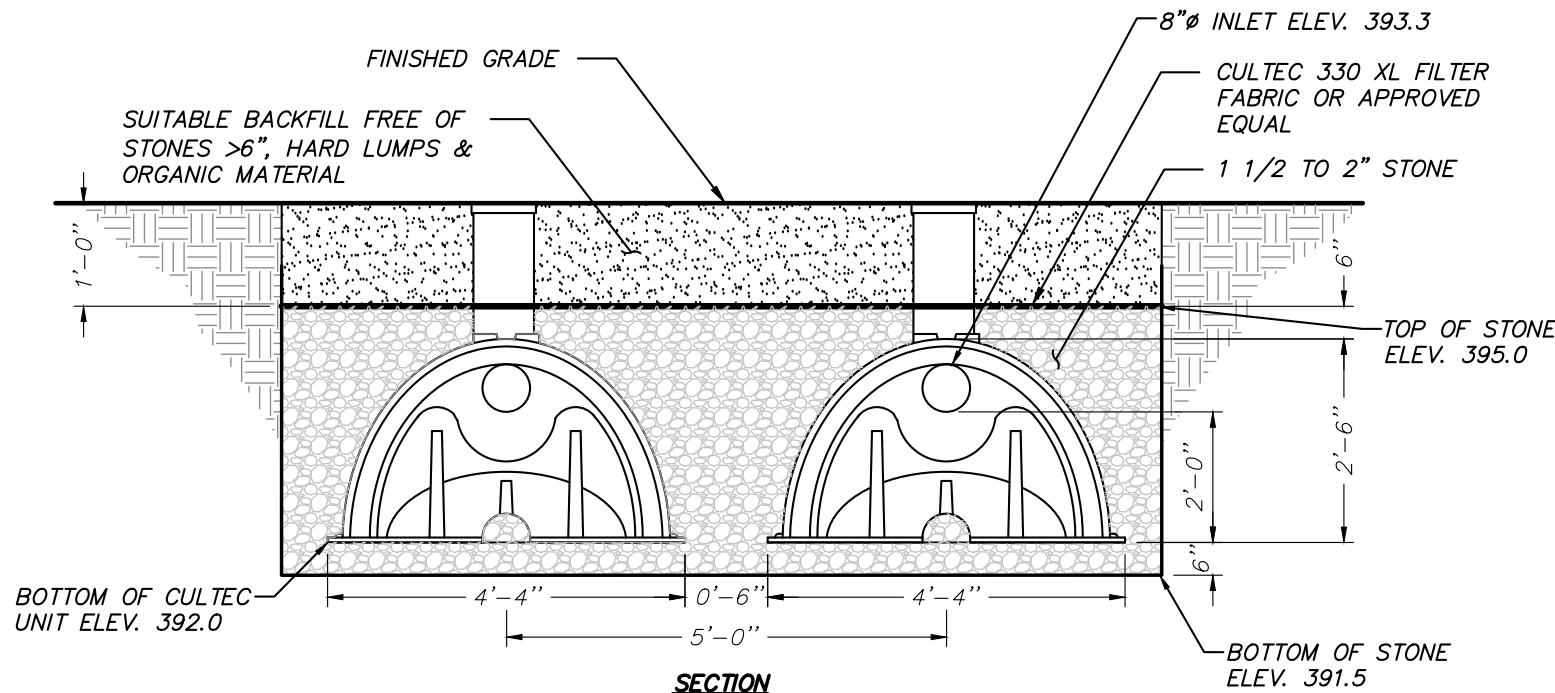
INSET 2
Scale: 1"=20'



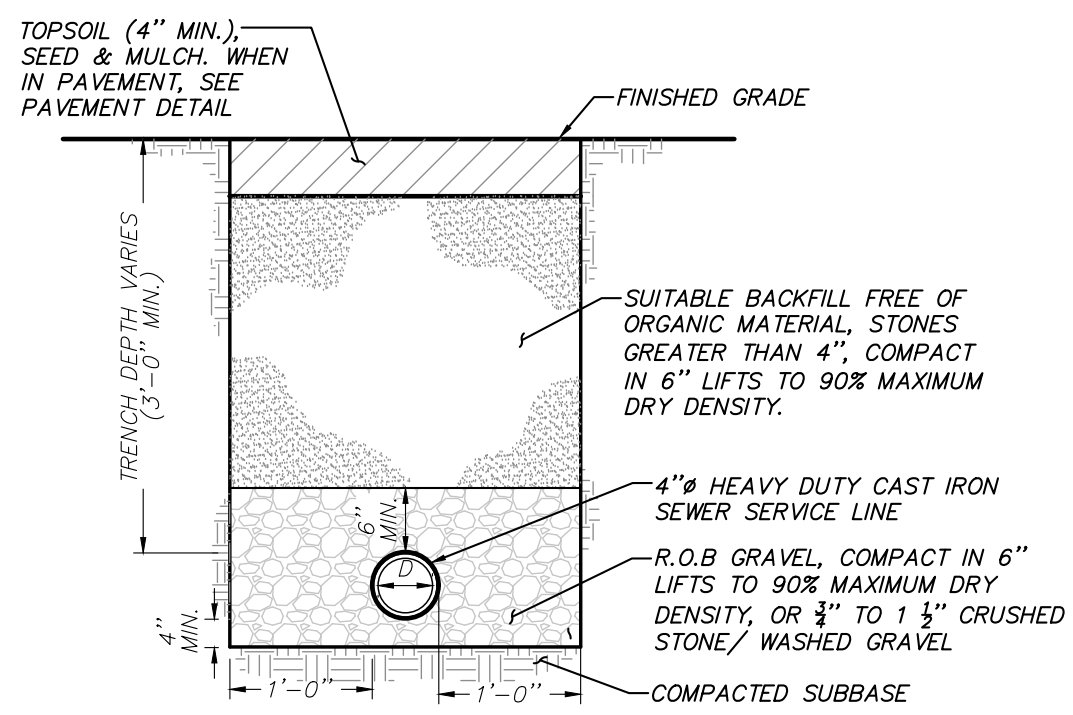
INSET 3
Scale: 1"=20'



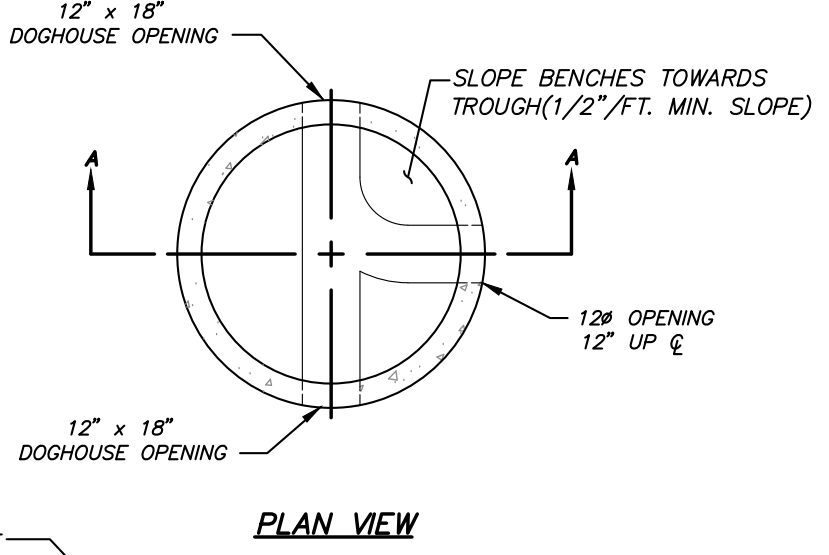
DRAINAGE LINE TRENCH DETAIL
(N.T.S.)



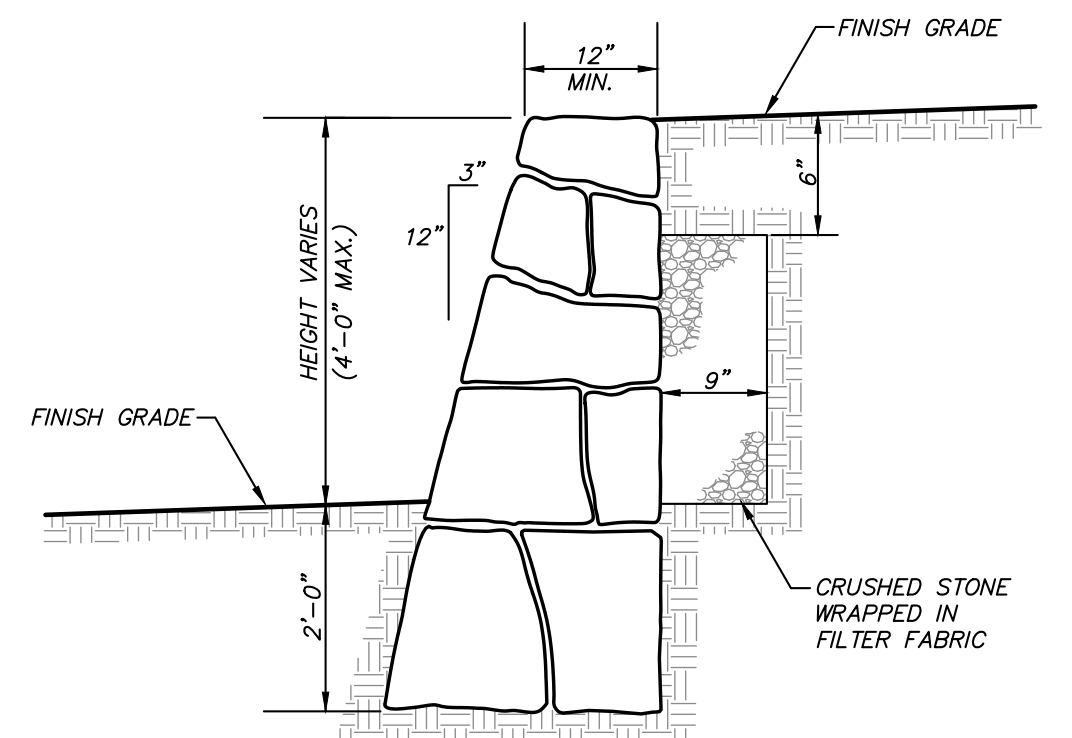
MANHOLE TROUGH DETAIL
(N.T.S.)



SEWER SERVICE LINE TRENCH DETAIL
(N.T.S.)

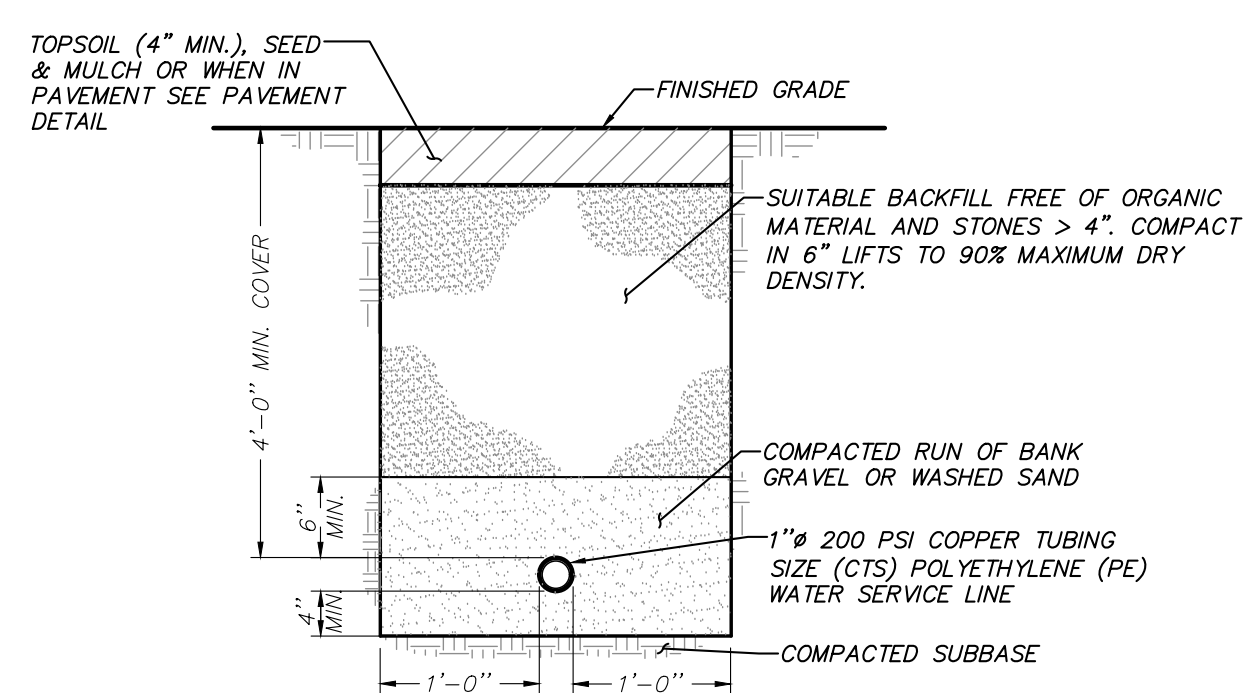


PLAN VIEW

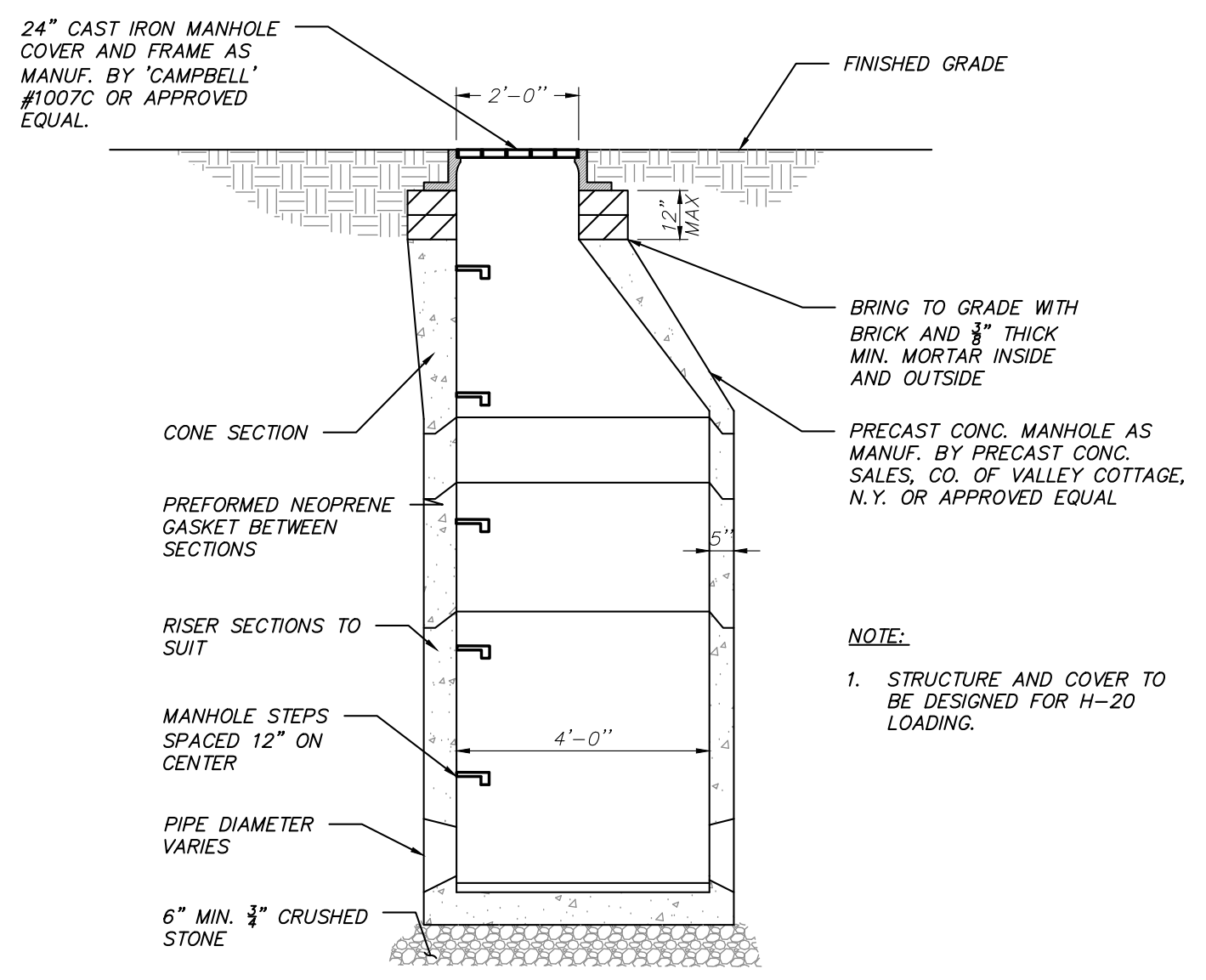


STONE RETAINING WALL
(N.T.S.)

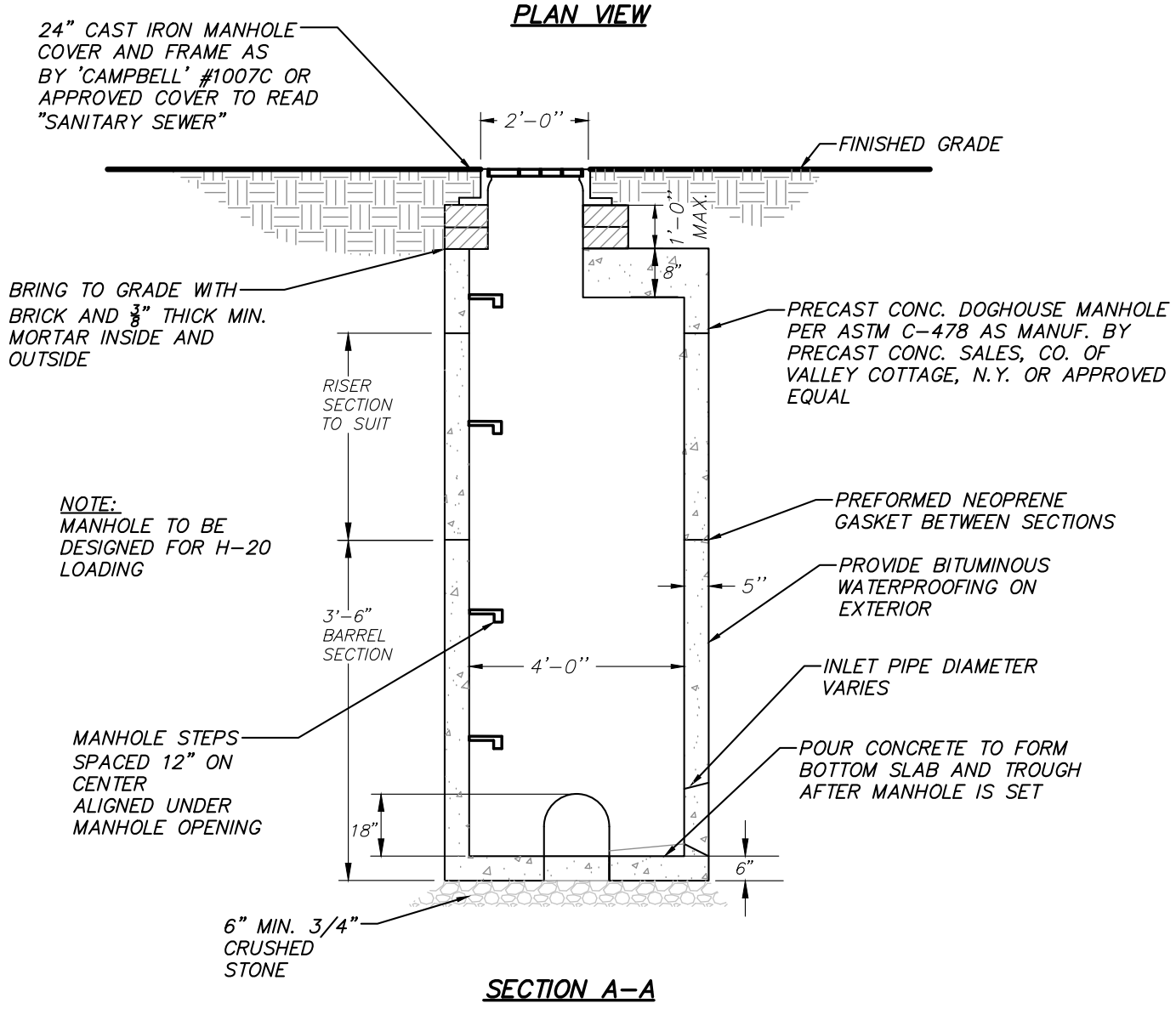
NOTE: EACH STONE IS TO BE SET FIRM & FLUSH ON PREVIOUS STONE TO PREVENT ANY "PLAY" OR MOVEMENT.



WATER SERVICE LINE TRENCH DETAIL
(N.T.S.)



DRAINAGE MANHOLE DETAIL
(N.T.S.)



DOGHOUSE SEWER MANHOLE DETAIL
(N.T.S.)

5	1-3-23	REVISED FOR PLANNING BOARD SUBMISSION	JLL
4	11-22-22	REVISED FOR PLANNING BOARD SUBMISSION	JLL
3	9-6-22	REVISED FOR PLANNING BOARD SUBMISSION	JLL
2	6-21-22	REVISED FOR PLANNING BOARD SUBMISSION	JLL
1	10-19-21	REVISED FOR PLANNING BOARD SUBMISSION	PJM
NO.	DATE	REVISION	BY

INSITE
ENGINEERING, SURVEYING &
LANDSCAPE ARCHITECTURE, P.C.

3 Garrett Place
Carmel, NY 10512
(845) 225-9690
(845) 225-9717 fax
www.insite-eng.com

PROJECT: **BÜGLER/SMOLLER SUBDIVISION**

2 1/2 & 1 Leonard Street, Village of Mt. Kisco, Westchester County, NY

DRAWING: **DETAILS**

PROJECT NUMBER	20184.100	PROJECT MANAGER	R.D.W.	DRAWING NO.	SHEET
DATE	8-24-21	DRAWN BY	J.L.T.	D-2	5
SCALE	1" = 20'	CHECKED BY	R.D.W.		



Z:\16\10381001\Bügler-Smoller\Sheet-M1\16-10381001-S2.dwg, 1/17/2023 12:25:40 PM, jllgarcia, 11

Village/Town of Mount Kisco
Planning Board

JAN 13 2023

RECEIVED

AFFIDAVIT OF MAILING

STATE OF NEW YORK }
 }SS.:
COUNTY OF WESTCHESTER }

Jamie L. LoGiudice, RLA being duly sworn, deposes and says:

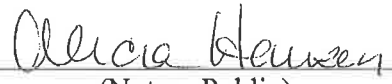
I has an office at Insite Engineering, Surveying & Landscape Architecture, P.C.
I reside at 3 Garrett Place, Carmel, NY 10512

On January 11, 2023 I served a notice of hearing, a copy of which is attached hereto and labeled Exhibit A, upon persons whose names are listed in a schedule of property owners within 300 feet of the subject property identified in this notice. A copy of this schedule of property owners' names is attached hereto and labeled Exhibit B. I placed a true copy of such notice in a postage paid property addressed wrapper addressed to the addresses set forth in Exhibit B, in a post office or official depository under the exclusive care and custody of the United States Post Office, within the County of Westchester.



Sworn to before me on this

13th day of January 20 23


(Notary Public)

Alicia Hansen
Notary Public, State of New York
Reg. # 01HA6086470
Qualified In Dutchess County
Commission Expires January 21, 2027

Katz, Saul
26 Hillsborough Ct
ROCKAWAY, NJ7866

Radio Vision Cristlana Mgmt.
419 Broadway
PATERSON, NJ7501

Radio Circle Realty INC.
15 Center Dr
MAHOPAC, NY105413801

United States Postal Service
160 Inverness Dr
ENGLEWOOD, CO80112

Linden Lane Associates, LLC
131 Radio Circle Dr
MT KISCO, NY105492609

Mt. Kisco Country Club Rlty.
10 Taylor Rd
MT KISCO, NY10549

128 Radio Circle LLC
27 Radio Circle Dr
MOUNT KISCO, NY10549

West. Fndtn. for the Disabled
135 Radio Circle Dr
MOUNT KISCO, NY10549

PUBLIC NOTICE

Please Take Notice that in accordance with Chapter 107 and 110-46 of the Code of the Village of Mount Kisco, a public hearing has been scheduled in connection with an application for a Special Permit and Wetland Permit submitted by the applicants. The subject property is 2.61 ± acres of land located at 135 Radio Circle (SBL 80.63-1-1.2) within the RDX (Research and Development) Zoning District and is currently used as office and storage in a two-story commercial building. The applicants are requesting the current use to be amended to Office with an Adult Day-Care Facility component. A Wetland Permit is required for the relocation of the existing indoor refuse containers to be located outside on existing impervious surfaces within the wetland buffer.

The Planning Board of the Village of Mount Kisco will hold a public hearing on Tuesday, January 24, 2023 at 7:30 PM, or as soon thereafter as may be heard, in the Frank J. DiMicco, Sr. room located within Village Hall, 104 Main Street, Mount Kisco, New York to receive public comment.

All interested parties are invited to attend and be heard.

By order of:

Mount Kisco Planning Board



**AFFIDAVIT OF PUBLICATION
FROM**

**State of Wisconsin
County of Brown, ss.:**

On the 20 day of January in the year 2023, before me, the undersigned, a Notary Public in and for said State, personally appeared D. Roberts, personally known to me or proved to me on the basis of satisfactory evidence to be the individual(s) whose name(s) is (are) subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their capacity(ies), and that by his/her/their signature(s) on the instrument, the individual(s), or the person upon behalf of which the individual(s) acted, executed, the instrument.

D. Roberts being duly sworn says that he/she is the principal clerk of **THE JOURNAL NEWS**, a newspaper published in the County of Westchester and the State of New York, and the notice of which the annexed is a printed copy, was published in the newspaper area(s) on the editions dated below:

Zone: Westchester **Edition Dates:** 01/08/2023

D. Roberts
Signature

Sworn to before me, this 20 day of January, 2023
Nicole Jacobs
Notary Public, State of Wisconsin, County of Brown

8-21-26
My commission expires

Legend:
WESTCHESTER: Amawalk, Ardsley, Ardsley on Hudson, Armonk, Baldwin Place, Bedford, Bedford Hills, Brewster, Briarcliff Manor, Bronxville, Buchanan, Carmel, Chappaqua, Cold Spring, Crompond, Cross River, Croton Falls, Croton on Hudson, Dobbs Ferry, Eastchester, Elmsford, Garrison, Goldens Bridge, Granite Springs, Greenburg, Harrison, Hartsdale, Hastings, Hastings on Hudson, Hawthorne, Irvington, Jefferson Valley, Katonah, Lake Peekskill, Larchmont, Lincoln Dale, Mahopac, Mahopac Falls, Mamaroneck, Millwood, Mohegan Lake, Montrose, Mount Kisco, Mount Vernon, New Rochelle, North Salem, Ossining, Patterson, Peekskill, Pelham, Pleasantville, Port Chester, Pound Ridge, Purchase, Purdys, Putnam Valley, Rye, Scarsdale, Shenorock, Shrub Oak, Somers, South Salem, Tarrytown, Thornwood, Tuckahoe, Valhalla, Verplanck, Waccabuc, White Plains, Yorktown Heights, Yonkers
ROCKLAND: Blauvelt, Congers, Garnerville, Haverstraw, Hillburn, Monsey, Nanuet, New City, Nyack, Orangeburg, Palisades, Pearl River, Piermont, Pomona, Sloatsburg, Sparkill, Spring Valley, Stony Point, Suffern, Tallman, Tappan, Thiells, Tomkins Cove, Valley Cottage, West Haverstraw, West Nyack

Ad Number: 0005548478

**NICOLE JACOBS
Notary Public
State of Wisconsin**

State of New York)
) ss:
County of Westchester)

AFFIDAVIT OF POSTING

Gilmar Palacios Chin, being duly sworn, says that on the 17th day of January 2023, he conspicuously fastened up and posted in seven public places, in the Village/Town of Mount Kisco, County of Westchester, a printed notice of which the annexed is a true copy, to Wit: ---

Municipal Building –
104 Main Street

_____X_____

Public Library
100 Main Street

_____X_____

Fox Center

_____X_____

Justice Court – Green Street
40 Green Street

_____X_____

Mt. Kisco Ambulance Corp
310 Lexington Ave

_____X_____

Carpenter Avenue Community House
200 Carpenter Avenue

_____X_____

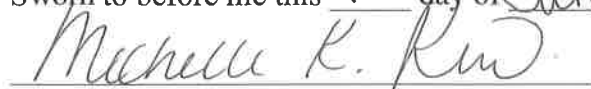
Leonard Park Multi Purpose Bldg

_____X_____



Gilmar Palacios Chin

Sworn to before me this 17th day of January 2023



Notary Public

MICHELLE K. RUSSO
NOTARY PUBLIC-STATE OF NEW YORK
No. 01RU6313298
Qualified in Putnam County
My Commission Expires 10-20-2026



Village/Town of Mount Kisco Building Department
104 Main Street
Mount Kisco, New York 10549
Ph. (914) 864-0019-fax (914) 864-1085

M E M O R A N D U M

To: Honorable Chairman Bonforte and Members of the Planning Board

From: Peter J. Miley, Building Inspector

Subject: Westchester Foundation for the Disabled, Inc.
Amended Site Plan Approval - Change of Use
135 Radio Circle Drive, SBL: 80.63-1-1.2

Date: July 6, 2022
Amended on January 20, 2023

PROPERTY

135 Radio Circle Dr. is a 2.61 +/- acres property located in the RDX (Research and Development) Zoning District. The property is situated at the end of the road on the west side of the street, directly across from WPIX Radio and the recently approved "Cube Smart" storage facility. The site is currently developed with a two-story commercial brick building and a 63 on-site – exterior parking spaces and two additional parking spaces located indoors.

On April 12, 2016, Westchester Foundation for the Disabled, Inc. received amended site plan approval to reallocate and repurpose the interior space to accommodate the not-for-profit organization which provides support for artistic, recreational, residential and vocational programs for developmentally disabled adults; refer to Application No. PB2016-0321 April 12, 2016 approval included in the applicants original submission.

PROPOSED

Proposed includes the converting the existing indoor parking garage/storage areas into additional office and program space; refer to INSITE Engineering's Statement of Use for the full description of the operation. In addition, proposed also include alterations to the second floor offices; refer to southeast "work areas and offices."

An exterior refuse enclosure is proposed and located in the rear southwest corner of the property.

COMMENTS

1. Special Permit is required. Pursuant to Chapter 110. Zoning Article III. District Regulations Â§ 110-23. RDX Research and Development District B. Permitted uses. (2) Special permit uses. (d) Nursery schools, child day-care centers and adult day-care centers, subject to the provisions of Article V of this chapter.
2. An updated business plan should be provided including all new and existing tenants.


APPROVALS REQUIRED

1. Amended Site Plan Approval
2. Change of use permit
3. Special Permit

MEMORANDUM

TO: Chairman and Members of the Mount Kisco Planning Board

CC: Michelle Russo
Whitney Singleton, Esq.
Anthony Oliveri, P.E.
Peter Miley

FROM: Jan K. Johannessen, AICP 
Village Planner

DATE: January 20, 2023

RE: Change of Use Permit Approval
Westchester Foundation for the Disabled
135 Radio Circle Drive
Section 80.63, Block 1, Lot 1.2

PROJECT DESCRIPTION

The subject property consists of ± 2.61 acres of land and is located at 135 Radio Circle Drive within the RDZ Zoning District. The property is developed with a two (2) story building that is currently operated by the Westchester County Foundation for the Disabled, Inc. and consists of office and storage space; the property contains 70 off-street parking spaces, seven (7) of which are located within the building. The Planning Board previously granted Change of Use and Amended Site Plan Approvals on May 13, 2014 and April 12, 2016. The applicant is proposing a change of use and reallocation of spaces within the existing building.

On the first floor, 3,004 s.f. of indoor parking space and 2,594 s.f. of existing storage space is being converted to programing space and 1,630 s.f. of existing storage space is being converted to office space. The second floor, which consists entirely of office space, is not proposed to change. The building, as proposed, will now include 5,598 s.f. of program space with the balance of the 1st and 2nd floor being office, corridor, restrooms and mechanical space.

January 20, 2023

Page 2 of 3

The applicant is also proposing to eliminate prior Condition #11 of the Planning Board prior Resolution which states: "The use of the building shall be restricted to administrative, business or professional office (non-medical) and non-hazardous storage of dry/non-perishable items and materials that support the subject use; all other uses, including programs, events, shows, classroom instruction, etc. shall be deemed prohibited."

SEQRA

The proposed action is a Type II Action and is categorically exempt from the State Environmental Quality Review Act (SEQRA)

REQUIRED APPROVALS/REFERRALS

1. A Change of Use Permit is required from the Planning Board.
2. If a Special Use Permit is required for the Adult Day Care component, a public hearing would be required.

COMMENTS

1. This office defers review of the plan for parking and zoning compliance to the Building Inspector.
2. Please update the floor plans to reflect the removal of the dumpster on the first floor plans (FP-1 and A-101).

In order to expedite the review of subsequent submissions, the applicant should provide annotated responses to each of the comments outlined herein.

PLANS REVIEWED, PREPARED BY INSITE ENGINEERING, DATED JANUARY 3, 2023:

- Amended Site Plan (SP-1)
- Details (D-1)

DOCUMENTS REVIEWED:

- Letter, prepared by Insite Engineering, dated January 3, 2023
- Amended Planning Board Application, dated December 27, 2023

JKJ/dc



January 3, 2023

Village of Mt. Kisco Planning Board
104 East Main Street
Mt. Kisco, New York 10549

RE: Westchester Foundation for the Disabled, Inc.
135 Radio Circle
Mt. Kisco, New York

Dear Chairman and Members of the Board:

Enclosed please find fourteen (14) copies of the following:

- Village of Mount Kisco Planning Board Application, dated December 27, 2022.
- Village of Mount Kisco Planning Board Application checklist, dated January 3, 2023.
- Drawing SP-1, "Amended Site Plan", last revised January 3, 2023.
- Wetland Permit Application Fee

As discussed at the previous Planning Board meeting, the applicant wishes to relocate the dumpster outside the building from the previously approved location within the building. Said relocation would require a Wetland permit as the proposed enclosed is located within the Village regulated 100' Wetland buffer. It is noteworthy to mention the proposed dumpster is located on existing impervious surface, and no new impervious in enclosed as part of this application.

In response to comments received from the Planning Board consultants, we offer the following:

Memorandum from Jan Johannessen, AICP of Kellard Sessions on July 8, 2022:

1. We acknowledge that the office defers review of the plan for parking and zoning compliance to the Building Inspector. It is our understanding from previous memorandums that there are no parking or zoning issues, and this project does require a Special Use Permit.
2. It is our understanding that the Building Inspector has determined a Special Use Permit is required. The Planning Board has scheduled a public hearing for the January 23, 2023 meeting.
3. Referring to the previously provided Drawings A-100, A-101 and A-102, the owner provided the existing and proposed uses. It is our understanding that the work shown on the approved 2016 plan (Drawing A-102) has been completed and the work shown on Drawing A-101 is proposed to be completed upon approval of this board.
4. Drawings A-100 and A-101 were provided to indicate the existing and proposed floorplans of the existing building.
5. Drawing A-102 represents the current second story floorplan of the building as provided by the owner. It should be noted that no changes are proposed to the second floor as part of this application.
6. The owner provided the existing and proposed uses as previously approved (2016) and shown on Drawings A-100, A-101 and A-102.
7. Drawing FP-1 was provided which includes tables that specify the various conversions of floor space by use and area as requested.
8. We do not have any objections that any new use, change of use, intensification of use, or change in ownership or tenancy to come before the Planning Board for review and approval.

3 Garrett Place, Carmel, New York 10512 (845) 225-9690 Fax (845) 225-9717

www.insite-eng.com

9. The refuse containers are proposed to be relocated outside the building, as previously stated above this would require a wetland permit, a copy of which is attached hereto.


Memorandum from Jan Johannessen, AICP of Kellard Sessions on December 8, 2022:

1. We acknowledge that the office defers review of the plan for parking and zoning compliance to the Building Inspector.
2. Refer above for responses to the Kellard Sessions July 8, 2022 memorandum.

We trust you will find the above information in order. We understand that this project has been placed on the January 24, 2023 Planning Board meeting agenda for further discussion and a public hearing on the Special Use Permit and Wetland Permit. Should you have any questions or comments or require additional copies of the enclosed information, please feel free to contact our office.

Very truly yours,

INSITE ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.

By: 
Rich Williams, Jr., P.E.
Senior Principal Engineer

RW/jll/smr

Enclosures

cc: Fred Eisman, Esq., Eisman Law, PLLC

Leslie Eisman, WFD

Insite File No. 21195.100

VILLAGE OF MOUNT KISCO PLANNING BOARD APPLICATION

Type of Application (please check all that apply)

- Site Plan (Conceptual)
 Site Plan (Formal)
 Subdivision
 Special Use Permit
 Change of Use Permit
 Wetland Permit
 Steep Slopes Permit

For Conceptual Site Plan Applications, complete Page 1 only and provide signatures on Page 2

Name of Applicant (not agent): Westchester Foundation for the Disabled

Address: 135 Radio Circle Drive, Mt. Kisco, NY 10549

Phone Number: 914-241-2076 Email: fbe@eismanlaw.com

Applicant's relationship to property: Owner

Name of Property Owner (if different from above) Same as above

Address: _____

Phone Number: _____ Email: _____

Name of Agent (Firm Name/Contact Person): Richard Williams, Jr. P.E., Insite Engineering, Surveying, and Landscape Architecture

Address: 3 Garrett Place, Carmel, NY 10512

Phone Number: 845-225-9717 Email: rwilliams@insite-eng.com

Application Information

Project Name: Westchester Foundation for the Disabled, Inc.

Project Address/Location: 135 Radio Circle Drive, Mt. Kisco, NY 10549

Tax Parcel ID Number(s): 80.63-1-1.2

Project Description: The owner wishes to adjust the amount of office and storage space in their existing office building. Interior renovations are proposed to optimize spaces based on current office and programmatic needs. The dumpsters are proposed to be moved outside the building with an enclosure proposed on an existing impervious surface but within the wetland buffer.

Total parcel size (square feet and acres): 113,691 square feet/2.61 acres

Zoning District(s): RDX Existing Use: Office & Storage Proposed Use: Office & Adult Daycare

Does the subject property have a Site Plan of Record? Yes No

Last approved use according to the last issued Certificate of Occupancy? Office & Storage

For Office Use Only

Total Fee Paid: \$ _____
Initial Escrow Deposit: \$ _____

Number of off-street parking spaces - Existing: 70 Proposed: 65

Number of newly created building lots (if applicable): N/A

Do any easement agreements, covenants or deed restrictions apply to this property? Yes No

If yes, please list these documents and attach copies _____

Identify all other permits/approvals required:

Agency	Approval Required		Type of Permit
Village Board of Trustees	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	
Village Zoning Board of Appeals (ZBA)	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	
Village Architectural Review Board (ARB)	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	
Village Building Department	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	Building Permit
Village Department of Public Works (DPW)	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	
Westchester County Department of Health (WCDH)	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	
Westchester County Department of Public Works (WCDPW)	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	
NYC Department of Environmental Protection (NYCDEP)	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	
NYS Department of Environmental Conservation (NYSDEC)	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	
NYS Department of Transportation (NYSDOT)	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	
U.S. Army Corps of Engineers (ACOE)	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	
Other	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	

Total anticipated area of construction activity as defined under the most recent NYSDEC SPDES General Permit for Stormwater Discharges from Construction Activity: <5,000 s.f. ≥5,000 s.f. - <1 acre >1 acre

Will the project disturb any Village regulated wetlands or wetland buffer areas? Yes No

If yes, quantify area of disturbance: 0 s.f. wetland disturbance; _____ s.f. of wetland buffer disturbance

Will proposed action disturb any "steep slopes" (≥15 percent)? Yes No Area disturbed: _____ s.f.

Will proposed action disturb any "very steep slopes" (≥25 percent)? Yes No Area disturbed: _____ s.f.

Are any trees with a diameter of ≥4-inches proposed to be removed? Yes No Quantity: _____

If yes, will any trees be removed from steep slopes? Yes No Quantity: _____

Is the site located within a Flood Hazard Area as defined by FEMA? Yes No

I hereby certify that the above information is factually correct to the best of my knowledge. By applying for the permit/approval(s) herein, the below individuals expressly authorize Village Officials and Planning Board members access to the subject property for schedule site visits and inspections.

Applicant: WFD - Fred Eisma
(print name)

[Signature]
(signature)

12-27-22
(date)

Owner: WFD - Fred Eisma
(print name)

[Signature]
(signature)

12-27-22
(date)

VILLAGE OF MOUNT KISCO PLANNING BOARD

104 Main Street
Mount Kisco, New York 10549
914-864-0022
www.mountkisco.org

PLANNING BOARD SUBMISSION CHECKLIST

PROJECT NAME: WFD

Application materials (required for all applications)

- *Planning Board application form completed and signed by all applicable parties
- Unless otherwise instructed, a completed Short Environmental Assessment Form (EAF) as available from the NYSDEC website
- *Application fee and initial escrow deposit as identified by the Planning Board Secretary
- *Most recent property deed
- *Survey of property – Level of detail required to be determined by the Planning Board, Building Inspector and/or the Planning Board’s consultants
- *Previously approved Planning Board Site Plan of Record and Planning Board Resolutions, available through the Building Department, if applicable
- *Identification of any known zoning variances (previously granted or required/proposed)
- *Completed Coverage Calculations Worksheet
- *Business plan providing a detailed description of the proposed use/operation
- Floor plans of the existing and proposed condition as prepared by a NYS licensed architect or engineer * To be provided in a future submission.
- Architectural elevations prepared by a NYS licensed architect or engineer, if applicable
- *The applicant shall provide a digital submission including PDFs of all forms, applications, documents, reports, and plans to the Planning Board Secretary on a flash drive or CD-ROM

(Indicates that this item is required for the first submission, including Conceptual Site Plan Applications*

Items to be included on Site Plans and other plans presented to the Planning Board (Subdivisions, Special Use Permits, Change of Use Permits, Wetland Permits, and Steep Slope Permits, as determined applicable)

General information and Existing Conditions

- *Location of project by street address
- *The section, block and lot number(s) of the subject property taken from the latest assessment roll
- *A location map identifying the location of the subject property in context to the surrounding area
- *Name and mailing address of the owner of record and the applicant, if different
- *Name and mailing address of the person, firm, or organization preparing the plan
- *Date of the plan preparation/revision - provide common revision dates on each sheet
- *North arrow; scale bar
- *Unless otherwise approved, plans shall be prepared as a scale of 1 inch = 30 feet
- *Zoning district boundary lines
- *Zoning setback lines and dimensions
- Landscape buffer setback lines and dimensions
- Ownership information for all adjacent parcels taken from the latest assessment roll
- The location, width and purpose of all existing and proposed easements, covenants, reservations and areas dedicated to public use within or adjacent to the property
- N/A Existing topography as illustrated by use of contour lines with intervals of two (2) feet or less, referred to a datum satisfactory to the Village Engineer
- Adjacent structures and uses within fifty (50) feet of the subject property
- The location, names and existing widths of adjacent streets, including curbs
- *The location and limits of all existing improvements including buildings, structures, paved areas, gravel areas, vehicular and pedestrian access, driveways, parking stalls,

() Indicates that this item is required for the first submission, including Conceptual Site Plan Applications*

loading areas, sidewalks, exterior lighting, walls, fencing, and landscaping on and adjacent to the subject property

N/A Locations, dimensions, grades and flow directions of existing sewers, drainage features, culverts, and waterlines, as well as other underground and aboveground utilities within and adjacent to the subject property

Demolition and Removals

Clearly identify any existing improvements or structures which are proposed to be removed, including utilities

Environmental Features

N/A If the subject property contains wetlands or surface water features or will require a wetland permit, wetlands and watercourses that are jurisdictional to the Village of Mount Kisco shall be delineated by a wetland scientist, shall be survey located, and shall be shown on a plan. A wetland delineation report shall be provided prepared to the satisfaction of the Village Wetland Consultant

N/A If disturbance to steep slopes is proposed, provide a calculation of disturbance within each applicable slope category and demonstrate compliance with Section 110-33.1A of the Zoning Code. The plan shall illustrate via shading, the portions of the site comprised of steep slopes (distinguish between slopes categories)

N/A If tree removal is proposed, trees with a diameter ≥ 4 inches as measured 1.5 feet above grade shall be survey located and shown on a plan (location, diameter, specie type). Identify all trees to be removed or preserved

N/A Mitigation plan (associated with wetland permits and steep slope permits)

N/A The location and extent of wooded areas, rock outcrops and other significant environmental features

The location, boundary and elevation of any FEMA Flood Hazard Areas, if applicable

Proposed Development

N/A For subdivisions and/or lot line realignments, provide a subdivision plat in compliance with Chapter 94 of the Village Code

*Bulk zoning table comparing the existing and proposed conditions to the requirements of the underlying zoning district(s)

N/A Average grade calculation to determine proposed building height, if applicable

() Indicates that this item is required for the first submission, including Conceptual Site Plan Applications*

- *Off-street parking and loading calculations comparing the existing and proposed condition to the requirements listed under Sections 110-28 and 110-29 of the Zoning Code
- N/A Limits of construction activity line with area calculation (square feet)
- *The location and limits of all proposed improvements including buildings, structures, paved areas, vehicular and pedestrian access, driveways, parking stalls, loading areas, sidewalks, exterior lighting, walls, fencing, and landscaping on and adjacent to the subject property. Profiles and cross-sections shall be provided, as necessary
- N/A Locations, dimensions, grades and flow directions of all proposed utilities including sanitary and storm sewers, drainage features, culverts, and waterlines, as well as other underground and aboveground utilities within and adjacent to the subject property. Profiles and cross-sections shall be provided, as necessary
- N/A Preparation of a Stormwater Pollution Prevention Plan (SWPPP) in accordance with NYSDEC standards and requirements, as determined necessary by the Village Engineer, including drainage calculations
- N/A Construction details, profiles and sections, as determined necessary
- N/A Grading plan, indicating how proposed new grades will meet existing grades
- N/A Location and cross-section of any new wall
- N/A The location and plans for any proposed signage
- N/A Landscaping plan, including location, size, specie type, and quantity of proposed plant material, prepared by a NYS registered landscape architect
- N/A A lighting plan prepared to demonstrate compliance with 110-32 of the Zoning Code
- The location, limits and description of any proposed easements or covenants
- N/A Any contemplated public improvements on adjoining properties
- *Any additional information required under the Village Code or as determined necessary by the Planning Board, Building Inspector, or by the Planning Board's consultants

Supplementary Regulations

- The applicant shall determine/demonstrate compliance with the Article V of the Zoning Code, including supplementary use and development regulations, as applicable

(* Indicates that this item is required for the first submission, including Conceptual Site Plan Applications

Upon findings of the Planning Board that due to special conditions particular to the subject property, certain of the information identified above is not necessary or appropriate or that strict compliance with said requirements may cause extraordinary or unnecessary hardships, the Planning Board may vary or waive the provision of such information, provided that such waiver will not have detrimental effects on public health, safety or general welfare or have the effect of nullifying the intent and purpose of the application, Official Map, Village Comprehensive Plan or Village Code

This checklist is provided as a guide. The Planning Board may require additional information as determined necessary.

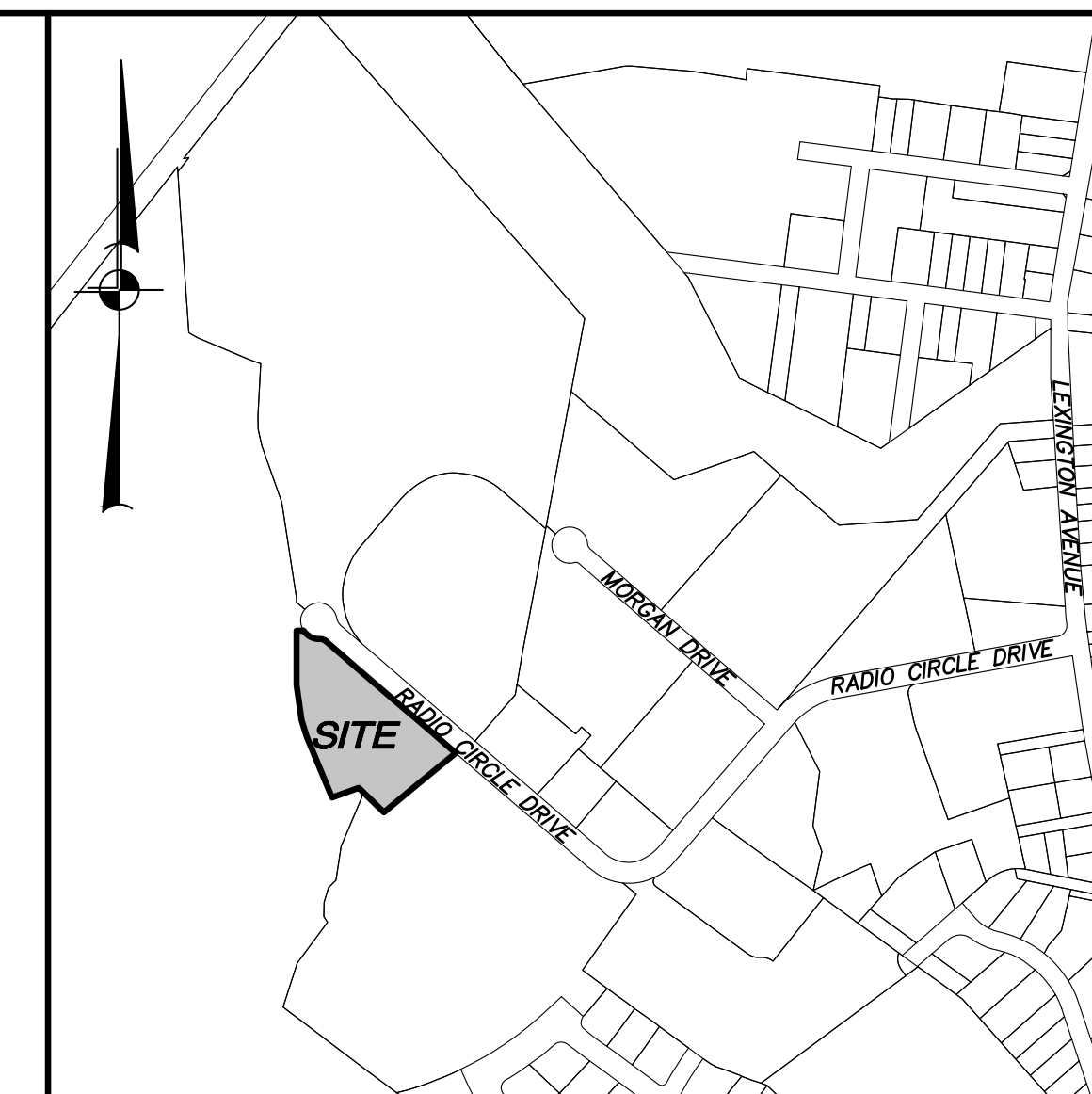
The undersigned agrees that, to the best of his or her knowledge, the submission materials have been prepared in accordance with this checklist.

Name of Design Professional: Richard Williams, Jr. P.E.

Signature of Design Professional: 

Date: 1/3/23

() Indicates that this item is required for the first submission, including Conceptual Site Plan Applications*

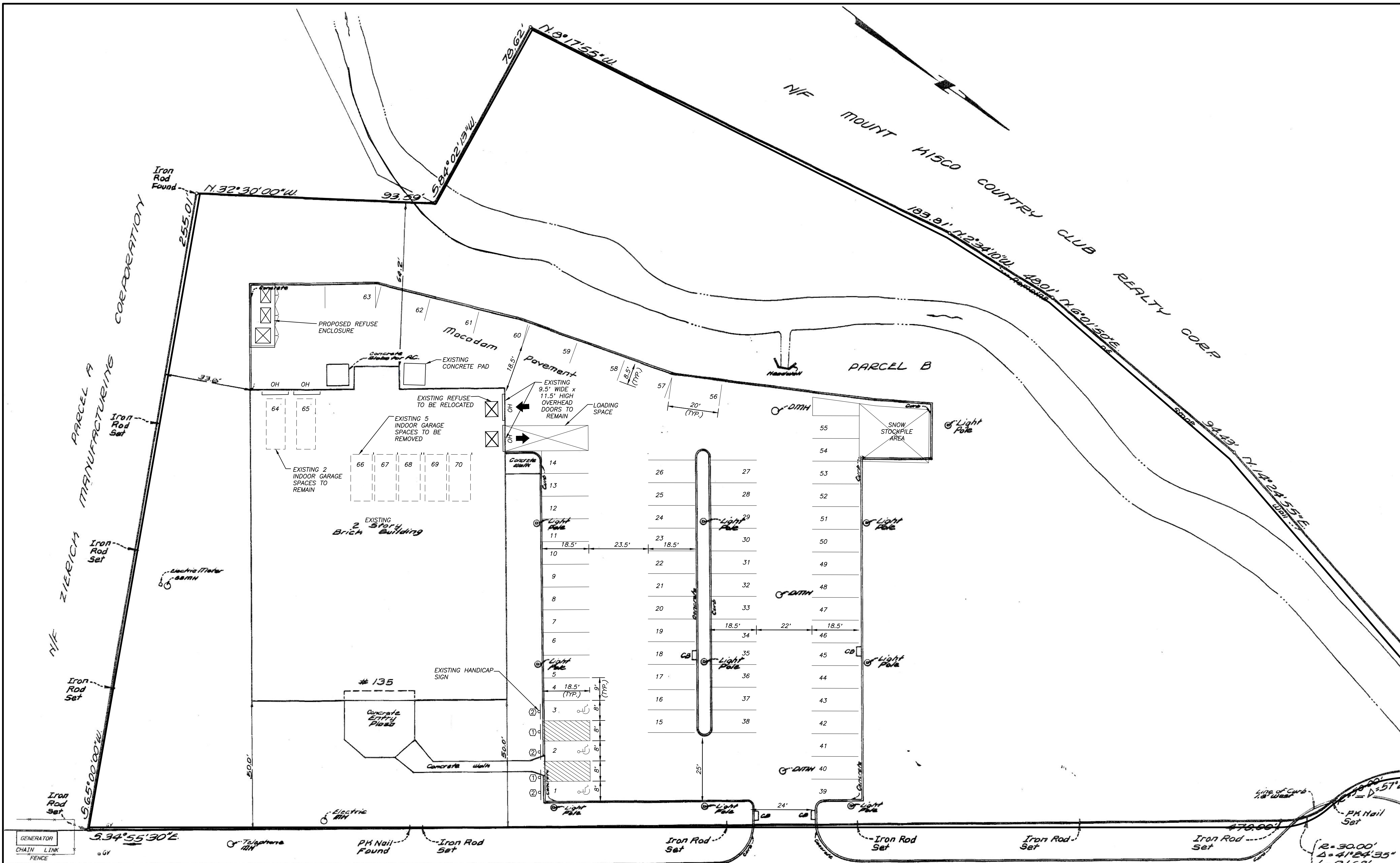


LOCATION MAP SCALE: 1" = 500'±

OWNER/APPLICANT:
Westchester Foundation for the Disabled, Inc.
135 Radio Circle Drive
Mount Kisco, NY 10549

SITE DATA:
Zone: RD
Total Acreage: 2.61 AC
Tax Map No.: 80.63-1-1.2

- GENERAL NOTES:**
- Property line and existing conditions information taken from Survey of Property prepared by H. Stanley Johnson and Company Land Surveyors, P.C. last dated October 31, 2013.
 - This plan was prepared in conjunction with a proposed change of use for the existing building. No site improvements or site construction are proposed.



RADIO CIRCLE

RDx - RESEARCH AND DEVELOPMENT DISTRICT

	Required	Existing (No Changes)
Min. Lot Area:	40,000 SF	113,865.84 SF
Min. Lot Width:	100'	536' ±
Min. Lot Depth:	100'	260' ±
Min. Building Setback:		
Front:	30'	50' ±
Side:	20'	33.8'
Rear:	35'*	73.3'
Buffer Setback:		
Front:	20'	20' +
Side:	20'	20' +
Rear:	20'	20' +
Max. Building Height:	3 Stories or 40'	2 Stories / < 40'
Max. Building Coverage:	35%	11.03%
Max. Site Development Coverage:	70%	34.9%

* Rear lot line abuts PD - Residential District

PARKING & LOADING REQUIREMENTS:

(SF AREA IS BASED ON GROSS FLOOR AREA)

Parking

Total Office Area: 12,087 SF

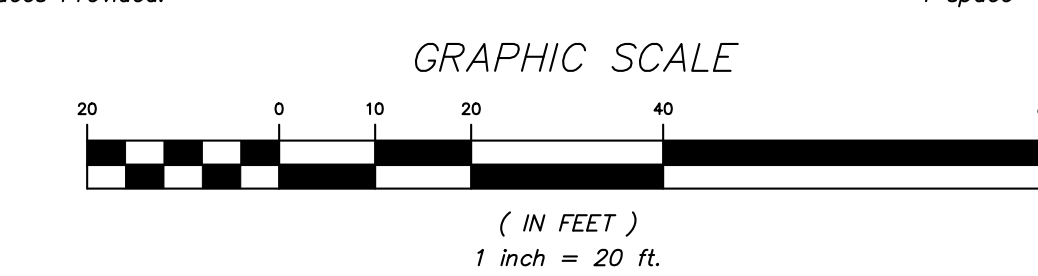
Office: 1 space/250 SF = 49 spaces
 Adult Daycare: 1 space per staff member (6 staff members) = 6 spaces
 1 space per 8 attendees (up to 30 attendees) = 4 spaces

Total Parking Spaces Required: 59 spaces
 Total Parking Spaces Provided: 65 spaces

Loading

1 space from 10,000 SF to 49,999 SF
 13,255 SF = 1 space

Total Loading Spaces Required: 1 space
 Total Loading Spaces Provided: 1 space



NO.	DATE	REVISION	BY
2	1-3-23	REVISED FOR PLANNING BOARD SUBMISSION	JLL
1	11-22-22	REVISED FOR PLANNING BOARD SUBMISSION	SMR

INSITE
ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.

3 Garrett Place
Carmel, NY 10512
(845) 225-9690
(845) 225-9717 fax
www.insite-eng.com

PROJECT: WESTCHESTER FOUNDATION FOR THE DISABLED, INC.
135 RADIO CIRCLE DRIVE, MT. KISCO, WESTCHESTER COUNTY, NEW YORK

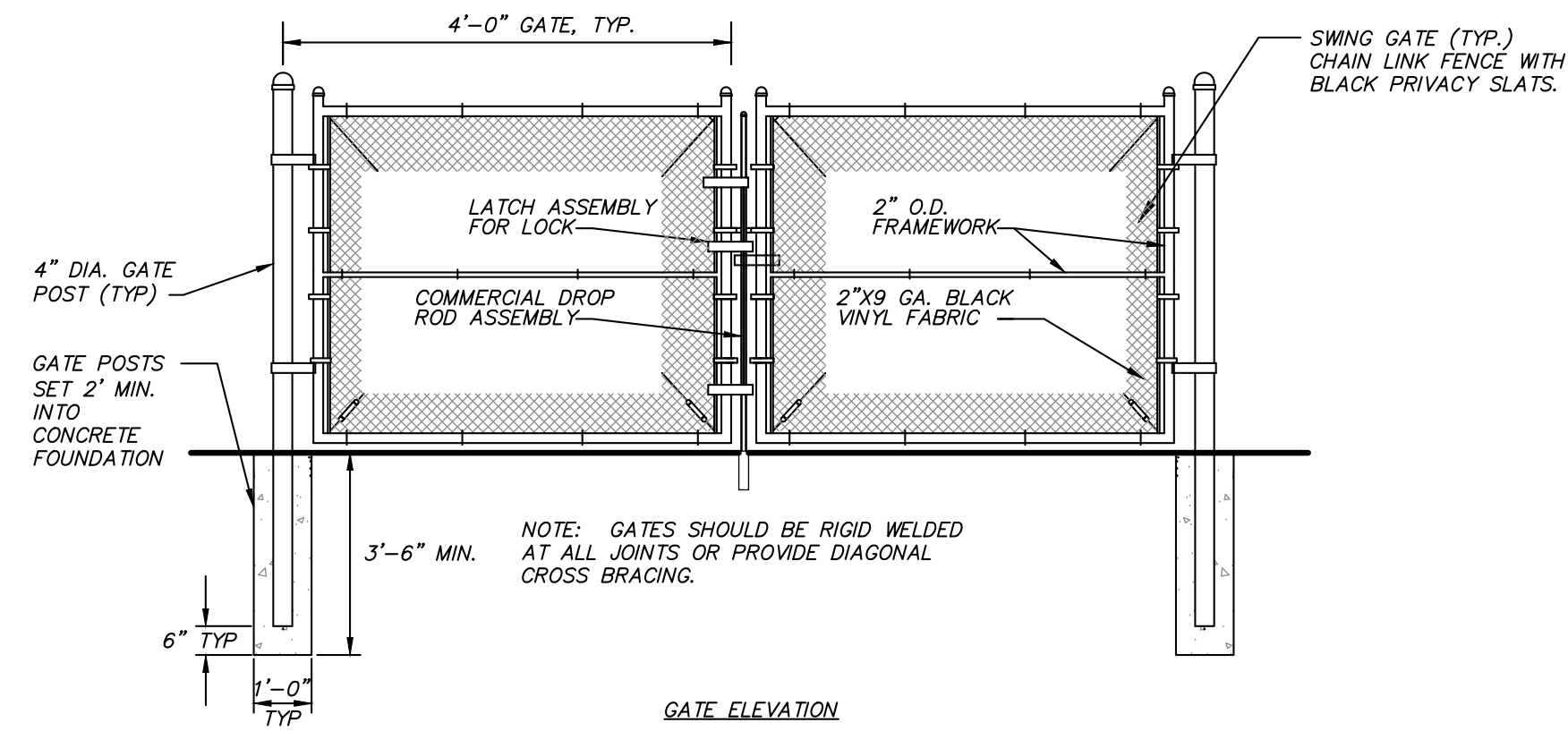
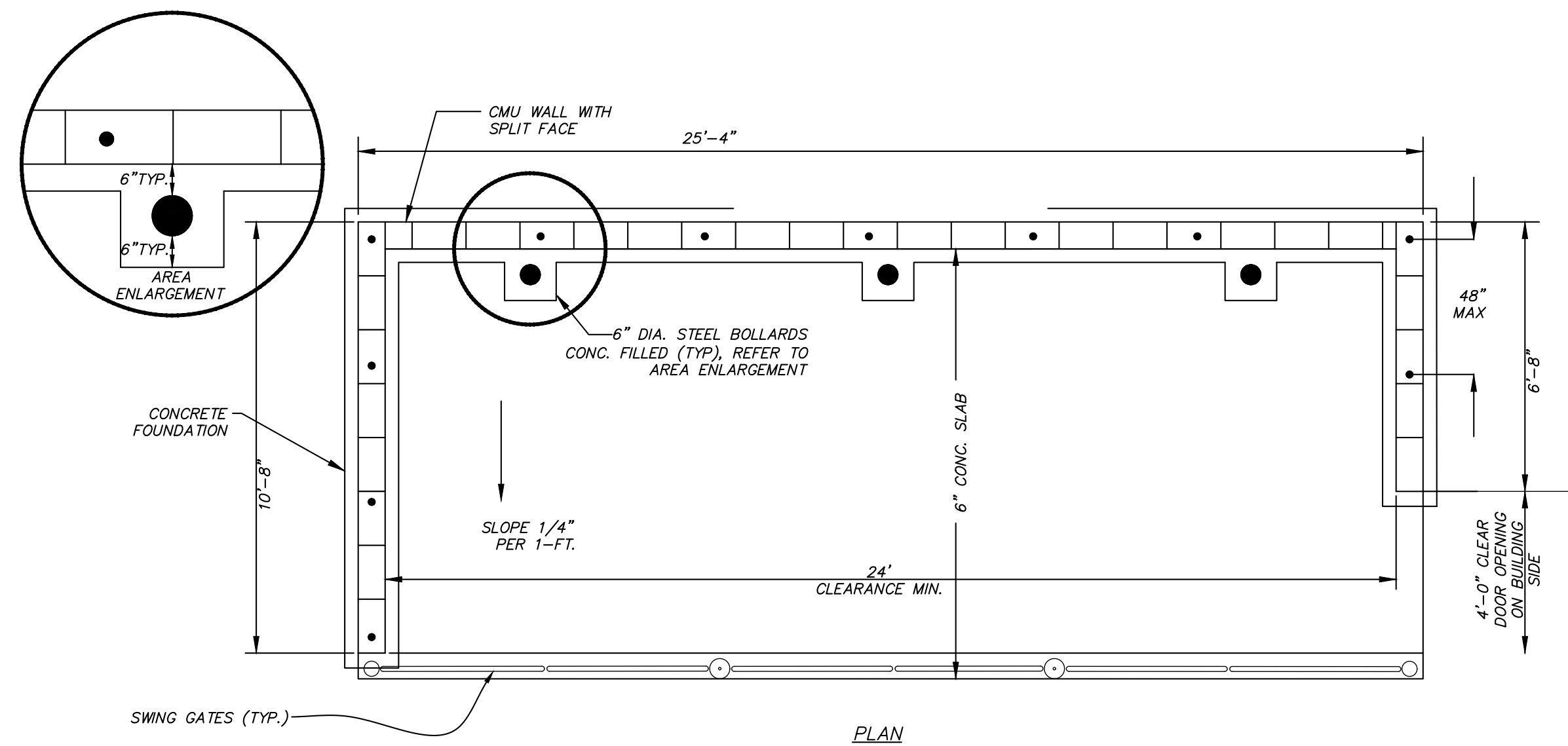
DRAWING: AMENDED SITE PLAN

PROJECT NUMBER: 21195.100 PROJECT MANAGER: R.D.W.
 DATE: 6-21-22 DRAWN BY: S.M.R.
 SCALE: 1" = 20' CHECKED BY: J.L.L.

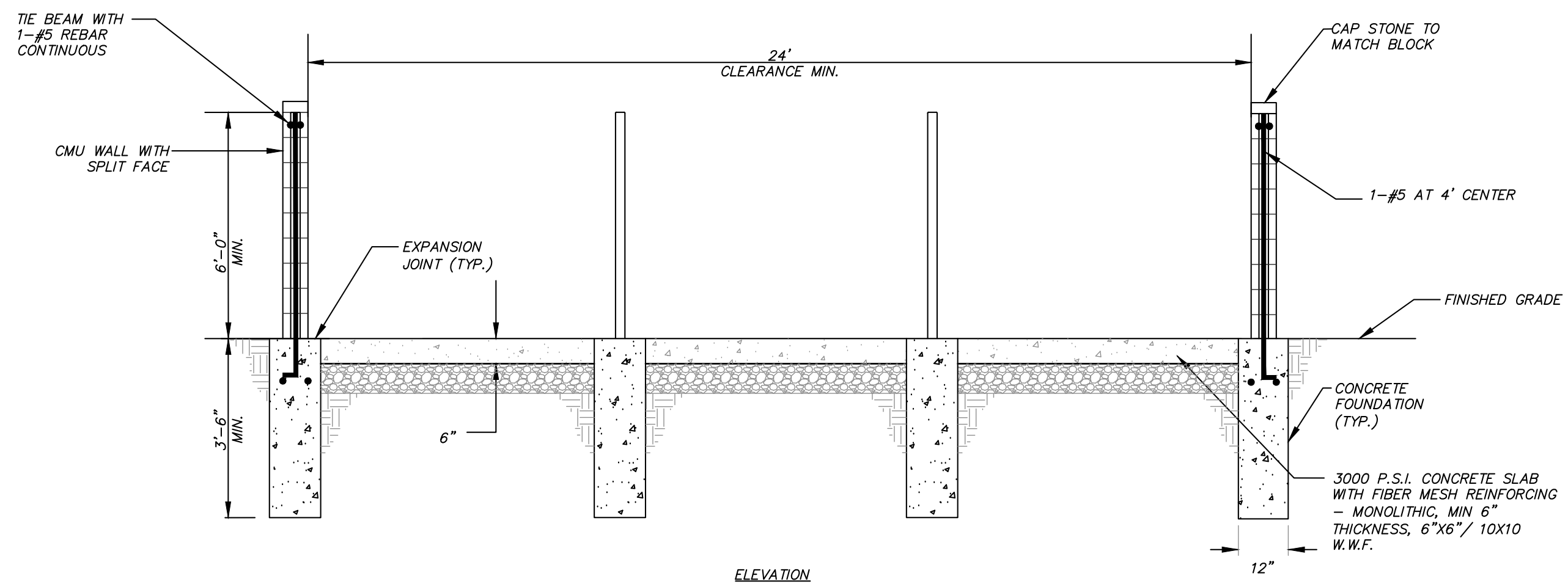
DRAWING NO. SHEET: SP-1 / 2

ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 7209 OF ARTICLE 145 OF THE EDUCATION LAW.

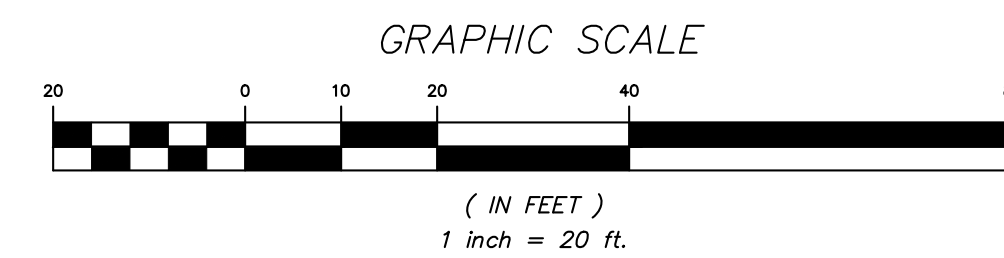
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DUMPSTER ENCLOSURE GATE DETAIL
(N.T.S.)



DUMPSTER ENCLOSURE DETAIL
(N.T.S.)

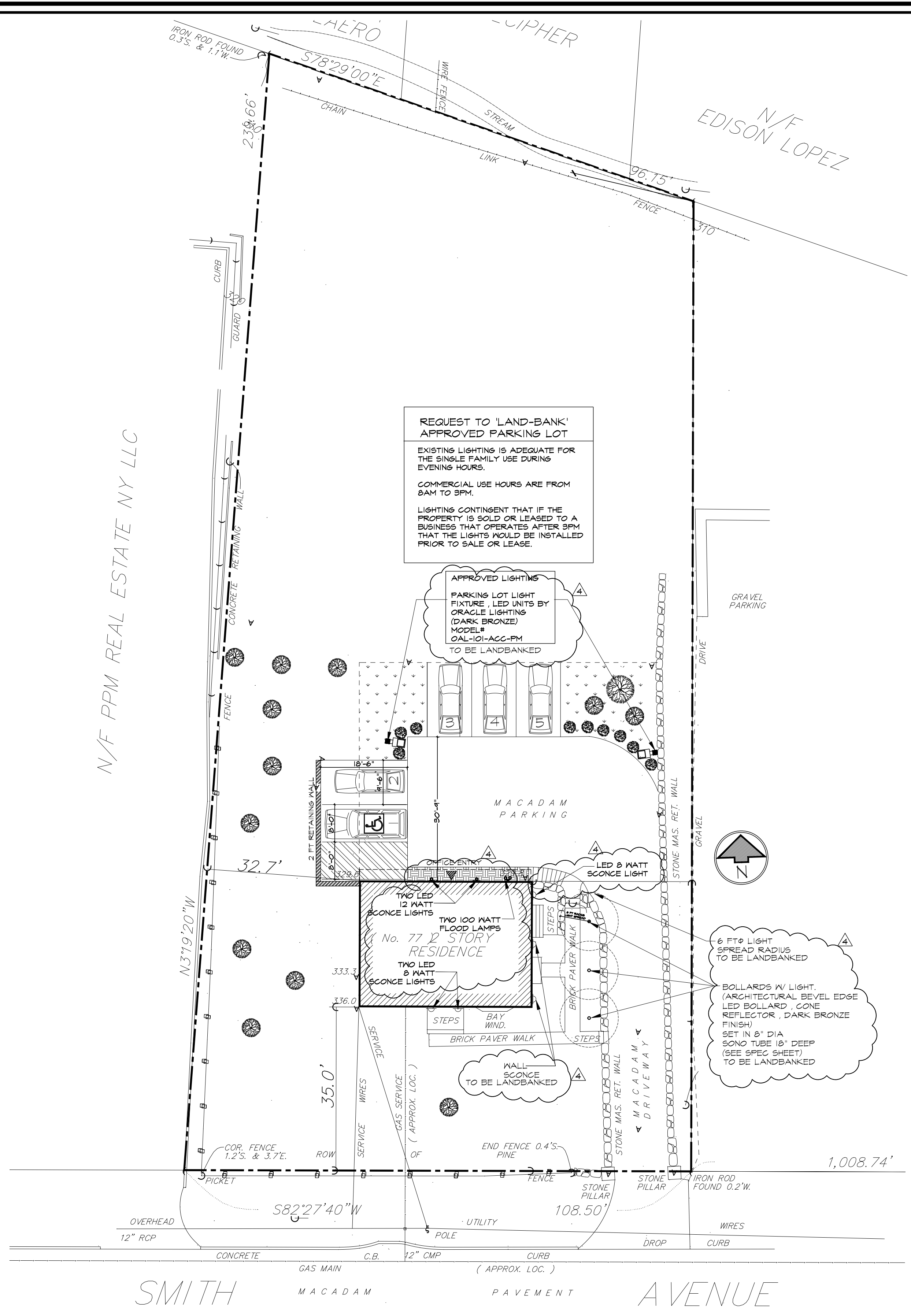


ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 7209 OF ARTICLE 145 OF THE EDUCATION LAW.

NO.	DATE	REVISION	BY
 ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.			
PROJECT: WESTCHESTER FOUNDATION FOR THE DISABLED, INC.			
135 RADIO CIRCLE DRIVE, MT. KISCO, WESTCHESTER COUNTY, NEW YORK			
DRAWING: DETAILS			
PROJECT NUMBER	21195.100	PROJECT MANAGER	R.D.W.
DATE	1-3-23	DRAWN BY	J.L.L.
SCALE	1" = 20'	CHECKED BY	J.L.L.
DRAWING NO.	D-1	SHEET	2/2

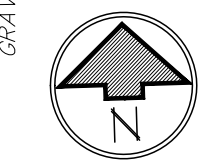


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REQUEST TO 'LAND-BANK' APPROVED PARKING LOT
 EXISTING LIGHTING IS ADEQUATE FOR THE SINGLE FAMILY USE DURING EVENING HOURS.
 COMMERCIAL USE HOURS ARE FROM 8AM TO 8PM.
 LIGHTING CONTINGENT THAT IF THE PROPERTY IS SOLD OR LEASED TO A BUSINESS THAT OPERATES AFTER 8PM THAT THE LIGHTS WOULD BE INSTALLED PRIOR TO SALE OR LEASE.

APPROVED LIGHTING
 PARKING LOT LIGHT FIXTURE, LED UNITS BY ORACLE LIGHTING (DARK BRONZE) MODEL# OAL-101-ACC-PM TO BE LANDBANKED



- 1- PARKING LOT LIGHT FIXTURE, LED UNITS BY ORACLE LIGHTING (DARK BRONZE) MODEL# OAL-101-ACC-PM (POLE MOUNT) WATTAGE= 105W CCT= (40K)(SEE SPEC. SHEET FOR MORE INFO)
- 2- 12.5 FT HIGH ROUND STRAIGHT ALUMINUM LIGHT POLE, 4" DIA & 0.125 THICKNESS (MODEL 2A4RS125. SEE SPEC SHEET)
- 3- POLE, SET ON LIGHT POLE BASE 2x2x5' LIGHT CONC. POLE BASE BY NGRID MODEL: LPB2424 (SEE DETAIL & SPEC SHEET FOR MORE INFO)
- 4- NOTE: SELECTED LIGHT POLE HAS DARK BRONZE FINISH AND FIXTURES TO BE INSTALLED IN A PERMANENT DOWNWARD FACING POSITION. LIGHTS TO BE ADJUSTED TO 3-4 FOOTCANDLES
- 5- PARKING LIGHTS TO OPERATE ON MOTION SENSOR AFTER 10 PM
- 6- THE POLE MOUNTED LIGHTS SHALL BE REDUCED TO 50% OF ITS NORMAL OPERATING ILLUMINANCE LEVEL AT 7 PM AND SHALL REMAIN AT THIS REDUCED ILLUMINANCE LEVEL UNTIL 4 AM. THE POLE MOUNTED LIGHTS AND THE BOLLARD LIGHTS SHALL BE ON MOTION SENSORS AND THE CANOPY LIGHTS LOCATED AT REAR OF THE BUILDING SHALL BE TURNED OFF AT THE CLOSE OF BUSINESS
- 7- WITH THE EXCEPTION OF SECURITY LIGHTING ALL EXTERIOR LIGHTING ON THE SUBJECT PROPERTY SHALL BE TURNED OFF AFTER BUSINESS HOURS

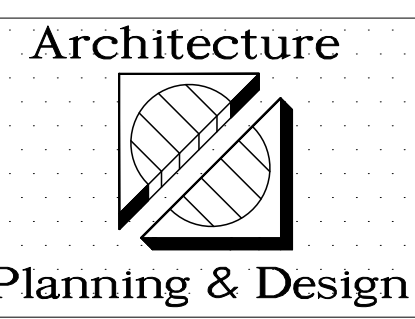
PROPOSED LIGHTING PLAN @ PARKING

SCALE 1" = 15'-0"

Leonard H. Brandes · ARCHITECT

TWO SPENCER PLACE
 SCARSDALE
 914-472-8421

SUITE 12
 NEW YORK 10583
 NCARB Certified



REVISIONS		
No.	Date	Revisions
1	8-11-2020	PER COMMENTS
2	8-24-2020	PER COMMENTS
3	11-0-2020	FINAL PER BUILDING DEPT
4	01-12-2022	EXISTING & LANDBANKED

Drawn By: E.B



Project: REQUEST FOR LAND BANK LIGHTING
 PROPOSED ALTERATIONS @
 77 SMITH AVENUE
 MOUNT KISCO, NEW YORK

Dwg. Title:
 PROPOSED LIGHTING PLAN @ PARKING

Drawing No.
 L-001
 NOV 1, 2022

LEXINGTON PROPERTIES



Village/Town of Mount Kisco Building Department
104 Main Street
Mount Kisco, New York 10549
Ph. (914) 864-0019-fax (914) 864-1085

MEMORANDUM

TO: Honorable Chairman Bonforte and Members of the Planning Board

FROM: Peter J. Miley, Building Inspector

SUBJECT: Fortunato Cambareri
Formal Application
175 Main Street
SBL 80.25-3-26 & 80.25-3-26.2

DATE: November 17, 2022
Updated: January 20, 2023

PROPERTY

175 Main Street (“the property”) is comprised of two separate lots (lot No. 26 & No. 26.2) totaling 39,954 sf (.92 acres) located in the CB-2 Central Business District. Lots 26 and 26.2 are separated by a Village “right-of-way” (private road) which currently serves as access to the rear of lot No. 26 (“the building”) and the parking area (east of the private road) located on lot No. 26.2. Parking requirements are proposed to comply (refer to zoning below) utilizing a combination of both lots.

The property is also located within the Downtown Overlay District. Recently adopted on 4-29-2019 by L.L. No. 1-2019: Zoning Article III. District Regulations § 110-27.4. Downtown Overlay District. The purpose of the Downtown Overlay District (A.) provides an option for developers to “*opt-in*” which is intended to:

1. Encourage new traditional mixed-use downtown development and redevelopment to occur within the downtown area that is consistent with historic town development patterns and provides a scale and mix of uses appropriate for the Village/Town of Mount Kisco;
2. Encourage mixed-use real estate development oriented to the rail station, and that promotes transit ridership;
3. Promote well-integrated residential, commercial, office and civic development in close proximity to the local transit station that has an urban village scale development pattern;

4. Support new development that includes diverse pedestrian-compatible, higher-density, transit-friendly designs and expands economic development opportunities and minimizes distances between destinations by requiring linked sidewalks and pedestrian-oriented access;
5. Provide incentives for the creation of mixed uses in keeping with the character, scale and architecture of the neighborhood, while using development design guidelines to promote compatibility of uses and stimulate pedestrian activity;
6. Promote the livability and identity of the neighborhood by providing for dwellings, shops and workplaces in close proximity to each other; and
7. Enhance the visual character and physical comfort of the district by minimizing pedestrian and vehicular conflicts and encouraging the renovation and erection of buildings and storefronts that provide direct connections to the street and sidewalk;

PROPOSED

175 Main St of Mount Kisco LLC (“the owners”) are seeking approval to convert the existing second floor commercial space into five (5) residential apartment units. In addition, proposed also includes adding an additional one-story making the building three (3) stories total. The total number of proposed dwelling units (2nd & 3rd floors combined) is ten (10).

Furthermore, proposed will include a number of other site improvements. Most notable is the creation of the new civic space that will be achieved by converting the existing Main Street parking area into a court yard. The civic space improvement will allow the property owner to eliminate the Main Street curb cut, restore the curbing and sidewalk, and create two additional Village on-street parking spaces. Other exterior improvements include: frontage elements (see edging in comments below) a covered bicycle stand, updated, “more pleasing and energy efficient” lighting, and a green roof for storm water run-off.

Among the interior improvements, the building will be outfitted with a new elevator and stairway.

Proposed will be required to comply with the extent possible, all applicable DOD regulations pursuant to § 110-27.4. Downtown Overlay District including, but not limited to:

§ 110-27.4. C. Overlay District. (7) Preexisting nonconformity.

1. (a) The Downtown Overlay District and associated regulations are optional and only apply to development sites that opt into the overlay. All other sites are governed by the underlying zoning that is currently in place.
2. (b) In the event that a property owner chooses to opt into the overlay as part of adaptive reuse of an existing building, the portion of the development that is existing as of

adoption of this section is not required to comply with the Downtown Overlay District as long as it complies with the underlying zoning. Any new construction or substantial renovation, even if associated with adaptive reuse of an existing structure, must comply with the Downtown Overlay District if the development site opts in to the Downtown Overlay District.

3. (c) In the event that a property owner chooses to opt in to the overlay as part of adaptive reuse of an existing building, and where the existing building represents either a nonconforming use and/or nonconforming building, the treatment of the nonconformity shall be subject to compliance with Article **VI**, § **110-34** and/or Article **VI**, § **110-35** of this Code.

The Downtown Overlay District contains four (4) areas and two street types, each with specific requirements.

- (a) Downtown Area.
- (b) Main Street Area.
- (c) Neighborhood Preservation Area.
- (d) Greenway Area; and

Street Type A., and Street Type B.

175 Main Street is located in the MS-Main Street (storefront encouraged) Area – Fronting a Street Type A.

(3) Building form standards. (a) Form standards. Sites and buildings shall comply with the minimum and maximum standards: Main Street Area – A minimum of 5,000 sf minimum site area; 50 ft. of site frontage at the “build-to-line.” A maximum of 3.5 stories and 45 in height is permitted; stepback of 10 ft. is required at 37 ft. (maximum) within build to zone.

ZONING STANDARDS

[2] Main Street Area.

[a] Maximum building coverage: 75%.

[b] Maximum development coverage: 90%.

[c] Minimum building setbacks:

[i] Front yard. Front building walls shall be located within the build-to-zone according to the minimum frontage occupancy required.

[ii] Rear yard: 20 feet minimum from lot lines.

[iii] Side yard: no side yard setback is required.

H. Design standards.

(1) Civic space design standards.

(a) Civic space design. The Planning Board shall consider the following criteria during its site plan review process to determine whether the civic space design is acceptable.

(b) Required civic spaces area.

[1] For sites greater than 10,000 square feet, a minimum of 7.5% of the total lot area of the development tract shall be permanently preserved as civic space.

(c) Civic space form and access.

[1] The required civic space(s) shall be provided in the form of courtyards, greens, squares or pedestrian passages, and these spaces shall be placed along and connect to one or more of the public frontages on A streets, B streets or pedestrian passages. Where a storefront is encouraged along the private frontage according to the Downtown Overlay District Plan, a storefront frontage will also be encouraged along at least an equivalent length of the civic space private frontage.

[2] All civic spaces shall provide pedestrian access from a public sidewalk via a publicly accessible pedestrianway or a private walkway open to the public at least 16 hours per day.

[3] A civic space must provide active or passive uses designed to bring regular pedestrian, civic and/or commercial activity to the site.

[4] Above-grade stormwater management basins, drainage channels and required buffers shall not be used to meet the minimum civic space requirements.

[5] The civic spaces shall include landscaping, pathways and street furniture and may contain artwork and/or fountains. Pathways should include decorative paving materials, such as brick, stone, paving block or patterned concrete.

[a] Where a civic space is proposed on a development site adjacent to an existing building not controlled by the applicant, the applicant shall provide edging elements as defined in § **110-27.4G** and landscaping to buffer any adjacent areas of blank walls or service uses.

[b] A civic space may include buildings of up to 600 square feet in footprint, provided that they are designed to activate the civic use of the space and provide public access. Buildings and temporary structures within civic spaces may be as low as one story in height.

[6] Civic space frontage occupancy.

[a] Civic spaces shall be mapped and measured on the site plan to designate a build-to-zone with a total linear length along the edges of the proposed civic space excluding the length of the edge

along the street and/or the length of the pedestrianway conforming to its frontage occupancy requirements.

[b] Civic spaces shall provide a minimum 60% frontage occupancy along its edges, unless the Planning Board determines that a lower standard is permitted.

[c] Private frontages shall comply with the frontage types permitted along its frontage.

[7] New buildings contiguous to a civic space shall provide build-to-zone(s) and street wall(s) as required by the street type designated on the nearest street on the Downtown Overlay District Standards Map. Where existing buildings front onto a civic space, the Planning Board shall determine the minimum standards for civic space frontage occupancy consistent with the intent of § **110-27.4H (1)**, while recognizing the challenges of retrofitting existing buildings.

COMMENTS updated 1/20/2023

- Although proposed includes two separate lots, we treated the review as a single site plan.
- Civic space should be identified on the zoning table. Required is 7.5% of the total combined lots - 39,954 sf. $7.5\% = 2,996.5$ sf of civic space is required. NOTE* the civic space/s shall include landscaping, pathways and street furniture and may contain artwork and/or fountains. Pathways should include decorative paving materials, such as brick, stone, paving block or patterned concrete pursuant to §110-27.4 H. [5] design standards.
1/20/23 – Civic Space Complies with this standard. Proposed is 7.9% (3,180 sf.)
- Boundaries: Property is located on a Street Type “A” in the DT Downtown Area where Storefront is encouraged. Page S1 tables i.e. Frontage and Edging Elements should indicate what is required and what will be provided pursuant to the appropriate district. The zoning table should be specific to the required district. Minimum Frontage Occupancy is 60% on a Street Type A; Storefront. Site Plan should also indicate whether the existing building complies with this section or if it doesn’t comply, indicate that this element is existing noncomplying. Furthermore, all elements of §110-27.4 F. (6) Storefront frontage FR-1 should be identified on the zoning table and whether the property/building complies or not.
1/20/2023 – Existing building appears (scaled/no dimension provided) to occupy approximately 58% +/- however, this is an existing condition.
- NOTE* some edging elements should, and can be provided on site; specifically, along the Main Street Civic Space. I turn your attention to §110-27.4 G. Edging element standards; permitted edging elements. For all private frontages located on A streets, B streets, pedestrian passages, or park frontages as designated on the Downtown Overlay District Plan, one or more of the following permitted edging elements shall be provided

according to the table below and the corresponding edging element standards. There are numerous options available.

1/20/2023: Civic spaces shall provide a minimum 60% frontage occupancy along its edges, unless the Planning Board determines that a lower standard is permitted. Proposed is approximately 43% however, the civic space frontage extends from the edge of the building line to the south property line.

Other frontage/edging elements permitted: Low wall, raised edging and stairs. Note: building is an existing and proposed includes: repairing of tree wells (add trees), unilock (Village spec) paver/concrete walkway, and planters.

- After the Planning Board Presentation, applicant should schedule a meeting with the Building Inspector and all Village Consultants prior to a subsequent submission.
1/20/2023: This meeting didn't occur but I was able to discuss this application today with the architect. I am also waiting on clarification from the Village Attorney regarding parking on two lots - whether this may require a variance.

Civic Space Frontage Occupancy

[a] Civic spaces shall be mapped and measured on the site plan to designate a build-to-zone with a total linear length along the edges of the proposed civic space excluding the length of the edge along the street and/or the length of the pedestrianway conforming to its frontage occupancy requirements.

[b] Civic spaces shall provide a minimum 60% frontage occupancy along its edges, unless the Planning Board determines that a lower standard is permitted.

[c] Private frontages shall comply with the frontage types permitted along its frontage.

ZONING

Pursuant to Chapter 110. Zoning Article IV. Off-Street Parking and Loading Regulations § 110-28. Off-street parking. **B.** Location of off-street parking facilities. (1) Off-street parking facilities shall be provided on the same lot or premises with the structure or land use they serve, except that off-street parking spaces required for structures or land uses on two adjoining lots may be provided in a single common facility on one or both of said lots. Parking is proposed by utilizing two-lots (26 & 26.2) that are separated by a Village “right-of-way”; therefore, a variance is required.

APPROVALS

Planning Board/ Site Plan Approval

Change of use permit issued by the Planning Board

Architectural Review Board

Zoning Board


Property is located in the Designate Main Street District, DEP approval may be required.

PM/mkr

MEMORANDUM

TO: Chairman and Members of the Mount Kisco Planning Board

CC: Michelle Russo
Whitney Singleton, Esq.
Anthony Oliveri, P.E.
Peter Miley

FROM: Jan K. Johannessen, AICP 
Village Planner

DATE: January 20, 2023

RE: Site Plan Approval
Fortunato Cambareri
175 Main Street
Section 80.25, Block 3, Lots 26 and 26.2

PROJECT DESCRIPTION

The subject property consists of ±39,954 s.f. of land and is located at 175 Main Street within the CB-2 Zoning District; the existing building is located within the Downtown Overlay. The subject property is developed with a two (2) story retail building, including a dance studio and a retail kitchen shop (Bilotta Kitchen). Off-street parking is currently provided along the south side of the building off Main Street and to the rear of the building, which is accessible from Lundy Lane.

The applicant is proposing the construction of a third story over the existing building in compliance with the Downtown Overlay Zone and is proposing to convert the second floor to residential use, resulting in two (2) floors of residential apartments over commercial space. A total of ten (10) units are proposed, including four (4) 1-bedrooms, four (4) 2-bedrooms and two (2) 3-bedroom units. The existing off-street parking area off of Main Street will be converted to civic space, two (2) new on-street parking spaces will be available on Main Street, and 38 spaces will be provided within the existing rear parking area.

SEQRA

The proposed action has been preliminarily identified as an Unlisted Action under the State Environmental Quality Review Act (SEQRA). The Planning Board declared its intent to serve as Lead Agency and has circulated the appropriate notice and application materials to the Involved and Interested Agencies. As

January 20, 2023

Page 2 of 3

more than 30 days has elapsed without an objection, the Planning Board should declare itself the Lead Agency for purposes of SEQRA. Prior to taking action on this pending application, the Planning Board must issue a determination of significance.

REQUIRED APPROVALS/REFERRALS

1. Site Plan Approval, and a Change of Use Permit, is required from the Planning Board.
2. The proposed action requires Architectural Review Board (ARB) Approval.
3. The proposed Stormwater Pollution Prevention Plan (SWPPP) requires approval from the New York City Department of Environmental Protection (NYCDEP).
4. The subject property is located within the NYC East of Hudson Watershed and proposed land disturbance exceeds 5,000 s.f. Coverage under New York State Department of Environmental Conservation (NYSDEC) SPDES General Permit for Stormwater Discharges from Construction Activity (GP-0-20-001) will be required.
5. Work within the NYS right-of-way requires a Highway Work Permit from New York State Department of Transportation (NYSDOT).
6. The application must be referred to the Westchester County Planning Board in accordance with Section 239-m of the General Municipal Law. The Planning Board Secretary will coordinate this referral.

COMMENTS

1. It is recommended that a site visit with the applicant and staff be conducted to discuss proposed improvements to the Lundy Lane driveway connection.
2. As previously requested, provide photo simulations of the front and south sides of the building, as proposed, including the civic space.
3. As previously suggested, it is recommended that the application be referred to the Fire Department for review.

January 20, 2023

Page 3 of 3

In order to expedite the review of subsequent submissions, the applicant should provide annotated responses to each of the comments outlined herein.

PLANS REVIEWED, PREPARED BY VKS ARCHITECTS, DATED (LAST REVISED) JANUARY 2, 2023:

- Location Map, Zoning Tables (C-1)
- Site Demolition & Description of Demolition Work & Legend (S1)
- Proposed Site Plan & Description of Work, & Legends (S2)
- Proposed Landscaping Plan & Planting Legend (S3)
- Stormwater Management & Topographic Site Plan & Legend (S4)
- Truck Turning Diagrams & Specification Table (S5)
- Photometric Lighting Layout Plan, Illumination Calculation Tables & Legend (S6)
- Site Details (S7, S8)
- Existing Foundation Plan (A1)
- Proposed 1st Floor Plan (A2)
- Proposed 2nd Floor Plan & Legend (A3)
- Proposed 3rd Floor Plan & Legend (A4)
- Proposed Roof Plans (A5)
- Proposed Exterior Elevations (A6)

DOCUMENTS REVIEWED:

- Letter and Transmittal, prepared by VKS Architects, dated January 3, 2023
- Response to Comments, prepared by VKS Architects, dated January 3, 2023
- Short EAF, dated December 7, 2022
- Highway Work Permit Application for Non-Utility Work
- Stormwater Pollution Prevention Plan, prepared by VKS Architects, dated December 9, 2022
- Lighting Plans, prepared by RAB Lighting

JKJ/dc

MEMORANDUM

To: Michael Bonforte, Planning Board Chairman

C: Planning Board Members
Edward W. Brancati, Village Manager
Peter Miley, Building Inspector
Whitney Singleton Esq., Village Attorney,
Jan K. Johannessen AICP, Village Planner

From: Anthony Oliveri, P.E.

Date: January 19, 2023

Re: Site Plan / Change of Use Application
175 East Main Street
Village/Town of Mount Kisco

With regard to the above mentioned project, this office has reviewed the following plans and submittals:

- Plan set entitled, “Addition to Existing Multi-Use Space, 175 East Main Street”, prepared by VKS Architects, dated revised 1/2/2023;
- Stormwater Pollution Prevention Plan (SWPPP), prepared by VKS Architects, dated 12/9/2022;

Our remaining comments are as follows:

1. Proposed disturbance of steep slopes is noted on the plan as approximately 88 S.F., apparently not requiring a Step Slope Permit under §110-33.1. Should any other steep slope disturbance be proposed in excess of 500 S.F., conformance with §110-33.1 will need to be demonstrated.
2. The current site plan proposes a net reduction of impervious area, thus stormwater detention is not a requirement under Village standards. This should be confirmed and the SWPPP updated accordingly. As such NYSDEC coverage under the SPDES General Permit (GP-0-20-001) would require sediment and erosion controls only.
3. The applicant should verify if NYCDEP will require SWPPP approval as it appears no existing pervious surfaces are being covered; the SWPPP should also reflect this determination.

January 3rd, 2022

Response to Comments from Town Consultants:

To: Village/Town of Mount Kisco
Planning Board
Attn: Planning Board Members
Via: Drop-Off
Date: January 3rd, 2022

VKS
ARCHITECTS
P O Box 696
Katonah, NY 10536
(914) 232-9828
Fax: 232-9839
vks@vksa.com

Subject: 175 E. Main St, Mt.Kisco, NY, 10549 – Planning Board Application Rev.3

Comments of Jan K. Johannessen, AICP: Kellard, dated 11/22/2022:

Required Approvals/Referrals

1. Site Plan Approval, and Change of Use Permit are Pending.
2. Architectural Review Board Application has been prepared is pending SEQR finalization.
3. Small SWPPP has been revised to properly reflect the disturbance limit and is pending approval from NYCDEP, a copy has been provided for reference.
4. Proposed Land disturbance has been updated and is proposed to be 12,328 S.F, it is called out on sheet S1 with Disturbance limit line. A SPDES General Permit for Stormwater Discharges from Construction Activity (GP-0-20-001) has been submitted to NYSDEC and a copy has been provided
5. We have prepared an application for a NYSDOT Permit for work within right-of-way, a copy has been provided and the permit is pending final drawings.
6. Referral to Westchester County Planning Board is being coordinated with the town.

Comments

1. Zoning compliance shall be approved by Building Inspector at staff meeting at site.
2. Work on steep slopes will be coordinated and verified with the Village Engineer.
3. The Frontage Occupancy Table has been updated to correctly depict proposed frontages, please refer to zoning tables on C1.
4. The Short EAF has been updated utilizing the EAF mapper from NYSDEC and has been submitted for review.
5. Construction materials and color specifications have been added to the Elevations, please see sheet A6 for Elevations.
6. Documentation associated with the “Fire Escape Easement” has been provided. And all work will be coordinated with adjacent owner.
7. Disturbance areas have been revised to include any removal of asphalt to subgrade or other ground disturbances. The total proposed disturbance is 12,328 S.F. and has been noted on sheet S1
8. Parking space width dimensions have been provided in rear lot; all spaces are 9’-0” see parking layout on sheet S2.
9. Van accessible aisle for new parking layout has been called out at 8’-0”. Please see sheet S2 For handicap parking dimensions, see sheet S4 for elevation points and cross slope percentages.
10. A truck turning plan within the upper parking area has been provided to demonstrate garbage truck/delivery truck access. A 46’ turning radius has been shown based on average Front-End Loader dimensions. Please see sheet S5 for truck turning plan with access to dumpsters shown.

January 3rd, 2022

11. The proposed island adjacent to parking space 17 is proposed to be crown Belgian block. A photo has been provided for reference.
12. Typical planting details have been provided and street trees wells have been coordinated with the Village's standards, please see sheet S8. Additionally, all street trees have been called out to be 3" caliper silver linden trees, please see sheet S3.
13. A civic area calculation has been provided on Sheet C1.
14. Based on the approved site plan of 183 E. Main Street we have proposed new Belgian block curbs to help define the new entrance.
15. Illuminance levels, measured in footcandles are provided with lighting plan to show compliance with section 110-32C of the zoning code. Please see tables on sheet S6.
16. A detailed lighting plan has been provided on sheet S6
17. A note has been added to sheet S6 stating that unless otherwise approved, all light fixtures shall be full cut-off fixtures and shall direct the light downward toward the ground and cut sheets have been provided.
18. The existing utility pole flood light has been called out to be removed on Sheet S1.
19. Specifications/Manufacturer information for pavers has been provided on sheet S7 & S8 and shall be coordinated with the town.
20. For ease of review, Sheets S1 & S2 have been revised to a scale of 1"=10'
21. For ease of review, all details have been provided on separate sheets, please see sheets S7 & S8.
22. No new building mounted signage is proposed for the 1st floor tenants currently.
23. Referral to the Fire Department for review is required and will be coordinated with the town.

Comments of Anthony Oliveri P.E., Dolph Rotfeld Engineering, dated 02/05/2022:

1. Parking space width dimensions have been provided in rear lot; all spaces are 9'-0" see parking layout on sheet S2.
2. Deep hole and percolations tests will be performed.
3. Front Sidewalk and onsite pavers have been coordinated with the village planned sidewalk rehabilitation. See Sheet S2 for Proposed paver layout and sheet S7/S8.
4. Disturbance areas have been revised to include any removal of asphalt to subgrade or other ground disturbances. The total proposed disturbance is 12,328 S.F. and has been noted on sheet S1

Short Environmental Assessment Form

Part 1 - Project Information

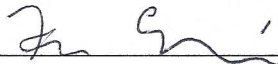
Instructions for Completing

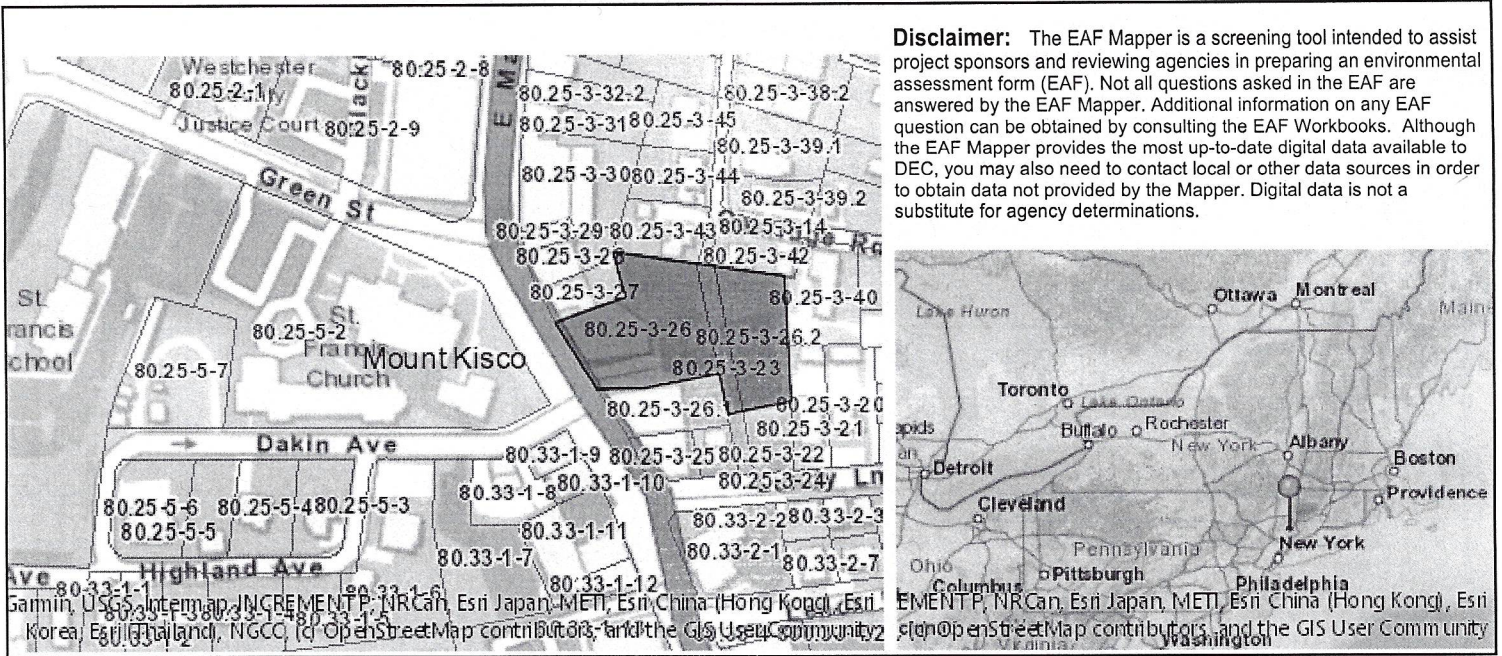
Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project: Addition & Alterations to Existing Building			
Project Location (describe, and attach a location map): 175 East Main Street, Mt.Kisco, NY, 10536			
Brief Description of Proposed Action: Chang of use on 2nd floor from commercial to residential, 3rd story addition for residential use, & provide new residential entrance. The site work proposal includes converting the parking lot on Main St. to a civic space, relocate the existing dumpster, modify existing curbs in rear parking lot, provide new landscaping, And repave/restripe existing rear parking lot.			
Name of Applicant or Sponsor: Fortunato Cambareri		Telephone: 914-557-7109 E-Mail: fortch51@aol.com	
Address: 16 Lawrence Street			
City/PO: Mount Kisco		State: NY	Zip Code: 10549
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input checked="" type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: Planning Board - Site Plan Approval, Building Department - Building Permit, Architectural Review Board, NYCDEP, NYSDEC, & NYSDOT			YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action? _____ .917 acres b. Total acreage to be physically disturbed? _____ .283 acres c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ .917 acres			
4. Check all land uses that occur on, are adjoining or near the proposed action: 5. <input checked="" type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify): <input type="checkbox"/> Parkland			

<p>5. Is the proposed action,</p> <p>a. A permitted use under the zoning regulations?</p> <p>b. Consistent with the adopted comprehensive plan?</p>	<p>NO</p> <p><input type="checkbox"/></p> <p><input type="checkbox"/></p>	<p>YES</p> <p><input checked="" type="checkbox"/></p> <p><input checked="" type="checkbox"/></p>	<p>N/A</p> <p><input type="checkbox"/></p> <p><input type="checkbox"/></p>
<p>6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?</p>	<p>NO</p> <p><input type="checkbox"/></p>	<p>YES</p> <p><input checked="" type="checkbox"/></p>	
<p>7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?</p> <p>If Yes, identify: _____</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>	
<p>8. a. Will the proposed action result in a substantial increase in traffic above present levels?</p> <p>b. Are public transportation services available at or near the site of the proposed action?</p> <p>c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p> <p><input type="checkbox"/></p> <p><input type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p> <p><input checked="" type="checkbox"/></p> <p><input checked="" type="checkbox"/></p>	
<p>9. Does the proposed action meet or exceed the state energy code requirements?</p> <p>If the proposed action will exceed requirements, describe design features and technologies:</p> <p>_____</p> <p>_____</p>	<p>NO</p> <p><input type="checkbox"/></p>	<p>YES</p> <p><input checked="" type="checkbox"/></p>	
<p>10. Will the proposed action connect to an existing public/private water supply?</p> <p>If No, describe method for providing potable water: _____</p> <p>_____</p>	<p>NO</p> <p><input type="checkbox"/></p>	<p>YES</p> <p><input checked="" type="checkbox"/></p>	
<p>11. Will the proposed action connect to existing wastewater utilities?</p> <p>If No, describe method for providing wastewater treatment: _____</p> <p>_____</p>	<p>NO</p> <p><input type="checkbox"/></p>	<p>YES</p> <p><input checked="" type="checkbox"/></p>	
<p>12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?</p> <p>b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p> <p><input type="checkbox"/></p>	
<p>13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?</p> <p>b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?</p> <p>If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____</p> <p>_____</p> <p>_____</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p> <p><input type="checkbox"/></p>	

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:		
<input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input checked="" type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe:	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
All storm water discharge will directed to existing drainage system and into street drainage system.		
Existing system will be verified to be in working order before and after work.		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe:	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Remediation occurred at 200 East Main St. as part of the Brownfield Cleanup Program		
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor/name: <u>FORTUNATO CAMBARERI</u> Date: <u>12/7/22</u>		
Signature: <u></u> Title: <u>OWNER</u>		



Disclaimer: The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.

Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	No
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	No
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	Yes

STATE OF NEW YORK DEPARTMENT OF TRANSPORTATION
HIGHWAY WORK PERMIT APPLICATION FOR NON-UTILITY WORK

Application is hereby made for a highway work permit:

For Joint application, name and address of Applicant 2 below:

Name FORTUNATO CAMBARERI

Name VIKTOR SOLARIK

Address 16 LAWRENCE ST.

Address P.O. BOX 696

City MT. KISCO State NY Zip 10549

City KATONAH State NY Zip 10536

Applicant Phone (914) 557-7109

Applicant 2 Phone (914) 522-8033

Applicant Email Address fortch51@aol.com

Applicant 2 Email Address VKS@VKSA.COM

Emergency Contact FORTUNATO CAMBARERI

Emergency Phone (914) 557-7109

RETURN PERMIT TO: (if different from Permittee)

RETURN DEPOSIT/BOND TO: (if different from Permittee)

Name SAME AS PERMITEE

Name SAME AS PERMITEE

Address

Address

City State Zip

City State Zip

DESCRIPTION OF PROPOSED WORK: REMOVE EXISTING CURB CUT & DRIVEWAY ENTRANCE FOR EXISTING PARKING LOT. PROVIDE NEW CURB TO MATCH EXISTING ADJACENT CURBS, AND NEW CONCRETE & CONCRETE PAVER SIDEWALK WITH STREET TREES & TREE WELLS TO MATCH EXISTING ADJACENT TREE WELLS.

Estimated cost of work being performed in highway right-of-way: \$ 25,000.-

Anticipated duration of work: From to (applies to the operations indicated on the reverse side)

WILL OVERHEAD OR UNDERGROUND (5'+) OPERATIONS BE INVOLVED IN THE PROPOSED WORK? YES NO [X]

ATTACHED: Plans [X] Specifications

LOCATION: State Route: 117 Located Between Reference Markers and

City/Town/Village of MOUNT KISCO County of WEST CHESTER

SEQR REVIEW (select one)

Type II Type I Unlisted LEAD AGENCY: DATE OF DETERMINATION:

Insurance (check one): [X] General Liability Insurance Undertaking Insurance Fee (residential operations only)

NOTE: PERMIT IS ISSUED CONTINGENT UPON ALL LOCAL REQUIREMENTS BEING SATISFIED

ACKNOWLEDGMENT: ON BEHALF OF THE APPLICANT, I HEREBY REQUEST A HIGHWAY WORK PERMIT, AND DO ACKNOWLEDGE AND AGREE TO THE RESPONSIBILITIES OF PERMITEE AND THE OTHER OBLIGATIONS SET FORTH IN THIS PERMIT AND WARRANT COMPLIANCE THEREWITH.

Applicant Signature [Signature]

Date 12/7/2022

Applicant 2 Signature [Signature]

Date 12/7/2022

Approval recommended by Resident Engineer Res No Date

Approved by Regional Traffic Engineer Reg No Date

Operational Type and Description		Permit Fee	Insurance Fee	Total Fees	\$ 0.00
DRIVEWAYS					
5a1	Residential Driveway (includes field entrances)	15	25	-	
5a6	Temporary access road or street	200		200	
For Commercial Driveways and subdivisions streets, use form PERM 33-COM					
IMPROVEMENTS					
5b1	Residential	15	25	-	
5b2a	Commercial- Sidewalk, curb paving, drainage, etc.	200		200	
5b2b	Commercial - Grade, seed, improve land contour, clear brush	100		-	
5b2c	Commercial - Resurface existing road or driveway	50		-	
5b2d1	Annual resurfacing of roadways and driveways - PER COUNTY	150		-	
	Number of counties:			-	
5b2d2	Annual resurfacing of roadways and driveways - PER REGION	400		-	
TREE WORK					
5c1	Residential	15	25	-	
5c2a	Commercial removal or planting	25		25	
5c2b	Commercial pruning, applying chemicals to stumps	25		-	
5c3	Vegetation control for advertising signs - PER SIGN	150		-	
	Number of Signs:	0		-	
MISCELLANEOUS CONSTRUCTION AND WORK OPERATIONS					
5d1	Beautify ROW (civic groups only)	N/C		-	
5d2a	Temporary signs, banners, décor (not-for-profit organizations)	N/C		-	
5d2b	Temporary signs, banners, décor (other organizations)	25		-	
5d3	Traffic control signals	500		-	
5d4	Warning and entrance signs	25		25	
5d5	Miscellaneous - Requiring substantial review (describe below)	400		-	
5d6	Miscellaneous (describe below)	25		-	
OTHER TYPES OF HIGHWAY WORK PERMITS					
6	Encroachment caused by DOT acquisition of property	25		-	
7a1	Compulsory permit required for demolition requested by DOT	N/C		-	
7a2	Compulsory permit required for moving requested by DOT	N/C		-	
7b	Improvement to meet Department standards	N/C		-	
8	Miscellaneous (describe below)	25		-	
9	Adopt-a-Highway (exempt from insurance requirement)	N/C		-	
Description of Miscellaneous Operation: N/A					

PERFORMANCE SECURITY (Select one): Guarantee Deposit - Cash Performance Bond Letter of Credit

Guarantee Deposit Amount: 450.-

Guarantee Deposit Check Number or Bond Number _____

(To be completed by NYSDOT issuing office)

Project Identification Number _____ Highway Work Permit No. _____

State Highway (SH) Number _____ Record ID Number _____



SWPPP Preparer Certification Form

*SPDES General Permit for Stormwater
Discharges From Construction Activity
(GP-0-20-001)*

Project Site Information

Project/Site Name

175 East Main Street, Mount Kisco, NY 10549

Owner/Operator Information

Owner/Operator (Company Name/Private Owner/Municipality Name)

175 Main Street of Mount Kisco, LLC

Certification Statement – SWPPP Preparer

I hereby certify that the Stormwater Pollution Prevention Plan (SWPPP) for this project has been prepared in accordance with the terms and conditions of the GP-0-20-001. Furthermore, I understand that certifying false, incorrect or inaccurate information is a violation of this permit and the laws of the State of New York and could subject me to criminal, civil and/or administrative proceedings.

VIKTOR

First name

K

MI

SOLARIK

Last Name

Signature

Date

1/3/2023

Stormwater Pollution Prevention Plan

Project: 175 E. Main Street, Mount Kisco, NY 10549

For: 175 Main Street of Mount Kisco, LLC

Scope: Stormwater Pollution Prevention Plan

Date: December 9th, 2022

Prepared by: VKS ARCHITECTS
P.O. Box 696, Katonah, NY 10536
(914) 232-9828, vks@vksa.com

Introduction:

The subject site is located at 175 E Main Street in the Village of Mt. Kisco, New York. The site consists of two lots:

Lot #1: tax ID 80.25-3-26 abutting Main Street on east side, is 25,915sf (0.595ac)

Lot #2: tax ID 80.25-3-26.2 is situated on the east side of a 20-foot wide “paper street” owned by the Village/Town of Mount Kisco, and is 14,039sf (0.32ac)

Lot #1: contains a two-story commercial use building developed in the 1980’s, paved parking lots, sidewalks, and exterior stairs connecting the two levels of the site

Lot #2: contains an existing paved parking lot.

The applicant is proposing to add third story to the existing two-story building and convert the use from commercial to mixed use (commercial on the first floor and residential on 2nd and 3rd floors).

The existing parking on the lower level of lot 1 (adjacent to Main Street) is proposed to be eliminated and converted to a “civic space” with new walkway, green/planted areas, benches, bike storage rack, etc.

The parking on the east side of Lot 1 and that on Lot 2 are to be reconfigured to better meet the parking dimensional requirements. New dumpster enclosure is to be provided and the parking lot grading is to be improved to meet the ADA requirements.

Stormwater Pollution Prevention Plan

Description:

The site is located in an area tributary to the Croton River Basin, within the New York City DEP Watershed. The site is also located in the Village “Designated Main Street Area”. Runoff from the two sites is directed to the existing stormwater system, connected to the Village/Town of Mt. Kisco system.

The subject property’s tax map identification includes Section 80.25, Block 3, Lots 26 & 26.2, and the total combined area is .917 acres. Site disturbance is approximately 12,328 s.f. or 0.283 acres. The site slopes generally to the south west towards Main Street.

This project results in overall decrease of impervious areas by approximately 2,143 square feet. In accordance with Section 18-39(b)(3)(iii) of the Watershed Regulations, the regulated activity on-site that requires NYC DEP review and approval of the SWPPP is Section 18-39(b)(4)(x): Construction of an impervious surface in the East of Hudson Watershed in a Designated Main Street Area. The project does not create additional impervious area within a Designated Main Street Area.

Owner/Operator/Applicant:

175 Main St of Mount Kisco LLC
 175 East Main St
 Mount Kisco, New York 10549

Individual Responsible for Implementation of SWPPP:

Fortunato Cambareri
 16 Lawrence St,
 Mount Kisco, New York 10549

Contractors:

TBD

Individual Responsible for Periodic Inspections:

Viktor Solarik
 VKS Architects
 P.O Box 696
 Katonah, New York 10549

At the time of the preparation of this Stormwater Pollution Prevention Plan, there are no know violations on this site.

The site is not adjacent to any historic places or archeological resources as listed on the State or National Registers of Historic Places or areas of archeological sensitivity. A map showing the site and surrounding area is included in the appendix of this report. The map was produced on the Cultural Resource Information System (CRIS) website, which is part of the New York State Historic Preservation Office website.

The approvals associated with this project are as follows:

Agency	Approval	Status
Village of Mt.Kisco	Architectural Review Board Work within Right of way	Submitted
Westchester county Planning board	Site Plan	Referral from town required
New York City Department of Environmental Protections (NYCDEP)	Stormwater	Pending

Stormwater Pollution Prevention Plan

New York State Department of Environmental Conservation	Stormwater	Pending
New York State Department of Transportation	Work within Right of way	No Objections

Discussion:

The proposed project is a development that is proposed to disturb less than 1 acre in a Designated Main Street Area (DMSA) as per DEP Watershed Regulations subsection 18-39(b)(9); therefore, the Stormwater Pollution Prevention Plan must incorporate erosion and sediment controls.

Temporary Erosion Control Measures:

The following is an inventory and description of the temporary erosion control devices proposed on this site.

Silt Fence – Silt Fencing consists of a fabric barrier between supporting stakes or posts usually made of wood. The fabric is proposed to capture suspended sediments from construction runoff and also decreases the velocity of the runoff to protect off-site areas. The proposed location of the silt fence is shown on the plans along with details for installing the silt fence.

Haybales – Haybales are used in a variety of erosion control devices. At the top of an excavation, haybales are used to spread out concentrated flow to prevent erosion. Haybales are used in conjunction with silt fence to add additional protection to sensitive areas such as wetlands and water bodies. Haybales are also used in conjunction with Silt Fence to protect surrounding areas from soil stockpile erosion. The proposed location of the haybales is shown on the plans along with details.

Inlet protection – Inlet protection is used to filter runoff from non-stabilized construction sites prior to this runoff entering the drainage system.

Anti-Tracking Pad – Anti-Tracking Pads shall be installed at the construction entrances to the new civic space. The purpose of the Anti-Tracking Pad shall be to dislodge mud, dirt, and debris from construction vehicles prior to these vehicles leaving the construction site. This will ensure the existing roadways are kept clear of sediment.

Construction Sequence:

The proposed development is proposed to be constructed in 1 phase. The construction will be in a sequence that will minimize the potential for erosion. Construction is anticipated to begin in Spring 2023 and be completed by Summer 2023.

The general sequence of construction is as follows:

A. Pre-Construction Meeting, Stakeout, Erosion Control Measures, Clearing

1. A pre-construction meeting will take place with the Town Engineer, NYCDEP staff, Applicant, Applicant’s representative, and Contractors.

Stormwater Pollution Prevention Plan

2. The initial fieldwork shall consist of surveying and staking for disturbance limits and erosion control installation.
3. The proposed infiltration system shall be cordoned off and protected from heavy equipment.
4. All trees to be preserved within the disturbance limits shall be marked and protected prior to the start of clearing operations.
5. Erosion controls shall be installed as shown on the erosion control plan and as per the respective erosion control details.
6. Silt fence and haybales, where indicated, shall be installed.
7. Anti-tracking pads shall be installed at construction entrance to new civic space.
8. Trees to be removed shall be cut at this time.
9. Trees stumps shall be removed at this time. Tree stump removal shall only include stumps within the immediate work area. Silt fence damaged by tree stump removal shall be replaced.

B. Earthwork

10. Clear and grub for remaining work area.
11. Removal of existing asphalt pavement, Regrading for new civic space + parking.
12. Rough grading for parking area.

C. Grading/Drainage/Utility Installation

13. Deep test hole and percolation tests will be performed on site to determine the suitability of the soil for subsurface detention. The soils in the area of disturbance are classified as Chatfield-Charlton complex, 15 to 35 percent slopes, very rocky (CsD), & Urban Land (Uf) according to the USDA (United States Department of Agriculture), NRCS (Natural Resources Conservation Service).
14. As the drainage system is installed, it shall be protected to ensure sediment does not enter the system. Drain inlets and catch basins shall be raised approximately 3" above finished grade during construction, prior to paving, and prior to binder course installation. The pipe to the infiltration system shall be plugged.
15. The infiltration system shall be installed and protected from heavy machinery.
16. The appropriate proposed utility services are finalized.
17. Once rough grading operations are completed, final grading will commence and binder course will be installed. After binder course is installed, inlet protection shall be installed.
18. The infiltration system shall not be put into service until the tributary area is stabilized.

D. Stabilization

18. Seeding, planting, and other soil stabilizing landscaping may be installed.
19. Once the site is substantially stabilized, the pipe to the infiltration system shall be unplugged and put into service.
20. Roadways/parking areas shall be paved with top course and striped as heavy equipment is no longer required onsite.

Stormwater Pollution Prevention Plan**E. Removal of Erosion Control Devices**

21. As areas are stabilized, sediment shall be removed and erosion control devices shall be discarded in an appropriate manner. Final stabilization for vegetated areas requires at least 80% vegetative cover. All drainage structures shall be inspected and cleaned if necessary.

Maintenance:

The maintenance chart below shows typical maintenance of temporary and permanent structures and erosion control devices during construction.

Device	Weekly	Monthly	Bi-annually	Annually	Prior to Significant Rainfall	After Significant Rainfall
Haybales	-	Inspect	-	Replace	Inspect	Inspect/Clean
Silt fence	-	Inspect	-	Inspect	Inspect	Inspect/Clean
Anti-tracking pad	Inspect	-	Restore	-	-	Inspect
Inlet Protection	-	Inspect	Restore	-	Inspect	Inspect/Clean
Catch Basins/ Drain inlets	Inspect (during construction)	-	Clean	-	-	Inspect

Permanent stormwater management device maintenance schedule:

1. All catch basins/drain inlets/drain manholes shall be inspected and cleaned biannually. These structures should also be inspected weekly during construction and after significant rainfall.
2. During the construction phase, the contractor shall be responsible for erosion control device maintenance. The contractor shall also be responsible for maintenance of the permanent drainage structures during construction and to ensure protection of the subsurface infiltration system area.
3. Potential pollutants during construction are sediment laden stormwater runoff, litter, and construction fluids/chemical spills. During construction, the runoff will be filtered through the silt fence and other erosion control devices prior to being discharged.
4. The construction litter will be cleaned on daily basis and disposed of in a lawful manner.
5. The storage of any construction fluids or chemicals will be within water tight containers suitable for storage and will not be exposed to the elements

Stormwater Pollution Prevention Plan**Permanent Stormwater Management Devices:**

1. After construction, in the post development stage, potential pollutants will be directed to the installed infiltration system. These after development pollutants are mitigated by the subsurface infiltration system.
2. There are no stormwater discharges due to industrial activities, apart from construction, associated with the site improvements.
3. No off-site flooding will occur as a result of the proposed construction activities and or post-construction conditions. The existing impervious surfaces that are scheduled to remain will continue to drain to the existing storm drainage system.
4. Runoff from impervious surfaces that are scheduled to be modified and turned into permeable or partially permeable surfaces is treated locally as indicated on the drawings.
5. A subsurface infiltration system is proposed to mitigate the potential minor increase in stormwater runoff for the proposed garbage enclosure. The infiltration system is located under the permeable paver area in front of the garbage enclosure in the rear parking area. The infiltration system consists of permeable pavers with H-20/HS-20 loading capacity on 6" minimum granular base & 8" minimum compacted NYS DOT item 4, sloped to drain as indicated on the stormwater management plan. Additionally, the modified impervious areas in the parking lot will be replaced with partially permeable pavers to allow for stormwater to infiltration, with areas shown on proposed stormwater management plan.
6. The proposed infiltration system is designed with the intention that the percolation rate is estimated and the proposed infiltration system will be updated once field testing takes place. Details are shown on the site plan.

Conclusion:

Based on the analysis in the Stormwater Pollution Prevention Plan, the stormwater management practices proposed will adequately treat the runoff leaving the site in regards to water quality. In addition, the proposed stormwater practices will control runoff quantities to ensure no adverse effects due to stormwater as a result of the proposed development.

Respectfully,

Viktor Solarik

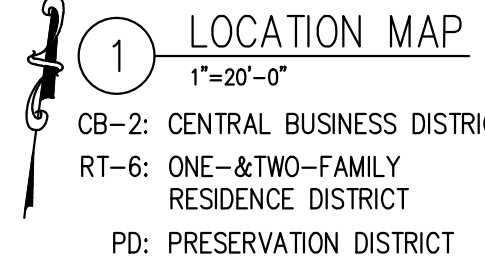
Viktor K. Solarik, AIA, LEED AP

VKS Architects

175 EAST MAIN STREET MT. KISCO

ADDITION TO EXISTING MULTI-USE BUILDING

FOR 175 MAIN ST OF MOUNT KISCO LLC



ZONING DISTRICT REGULATION TABLE: (S.S.110-27.4)				
ZONING DISTRICT: DOWNTOWN OVERLAY DISTRICT: MAIN STREET AREA	REQUIRED		EXISTING	
	REQUIRED	EXISTING	PROPOSED	
MAX. BUILDING COVERAGE	75%	17.9%	18.2%	
MAX. DEVELOPMENT COVERAGE	90%	62.4%	58.1%	
FRONT YARD	IN BUILD-TO-ZONE: 12'-0" TO 20'-0" FROM CURB	9'-8"	SAME	
REAR YARD	20'-0" MIN.	78'-5"	SAME	
SIDE YARD	NONE REQUIRED	N/A	SAME	
MIN. SITE AREA (SQUARE FEET)	5,000 S.F.	39,954 S.F.	SAME	
MIN. SITE FRONTAGE AT BUILD-TO-LINE	50'-0"	63'-10"	SAME	
CIVIC SPACE	7.5% (2,995S.F.)	0%	7.9% (3,180S.F.)	
MIN. BUILDING HEIGHT	1 STORY	2 STORIES	3 STORIES	
MAX. BUILDING HEIGHT	3.5 STORIES OR 45'-0"	2 STORIES/29'-4"	3 STORIES/41'-4"	
MAX. BUILDING HEIGHT AT BUILD-TO-ZONE	37'-0"	N/A	31'-4"	
STEPBACK REQUIREMENT	10'-0" STEPBACK ABOVE 37'-0"	N/A	10'-0" STEPBACK @ 31'-4"	

NOTE:
1 - S.S.110-27.4.C.7(b): FOR ADAPTIVE REUSE ALL PORTIONS OF EXISTING BUILDING TO COMPLY WITH UNDERLYING ZONING. ANY NEW CONSTRUCTION OR SUBSTANTIAL RENOVATION, MUST COMPLY WITH THE DOWNTOWN OVERLAY DISTRICT.
2 - S.S.110.27.4.E(1)(c) & S.S.110.27.4.E(2)(a)(1): BUILD-TO-LINES AND BUILD-TO-ZONES ARE TO ESTABLISH A CONTINUOUS STREET WALL & BUILDING PLACEMENT STANDARD ARE BASED ON A-STREET FRONTAGES

TOWN/VILLAGE OF MT.KISCO: MINIMUM FRONTAGE OCCUPANCY REQUIRED				
FRONTAGE TYPE	STOREFRONT (FR-1)	URBAN (FR-2)	PARK (FR-3)	FORECOURT* (FR-6)
REQ. A STREET OCCUPANCY	60%	60%	60%	60%
PROPOSED OCCUPANCY	56.9%	-	-	43.1%

NOTE:
*1 - CIVIC SPACE: AN AREA OF OPEN SPACE ACCESSIBLE BY THE PUBLIC, IMMEDIATELY ADJACENT AND CONTIGUOUS TO A PUBLIC FRONTAGE IN THE FORM OF A SQUARE, GREEN OR COURTYARD

TOWN/VILLAGE OF MT.KISCO: EDGING ELEMENTS	
FRONTAGE TYPE	PERMITTED EDGING ELEMENTS
STOREFRONT + URBAN (FR-1+2)	LOW WALL (EE-1), RAISED EDGE (EE-2), STAIRS(EE-3), PLANTERS (EE-6), LANDSCAPED EDGE (EE-7)
PARK (FR-3)	LOW WALL (EE-1), RAISED EDGE (EE-2), STAIRS (EE-3), ORNAMENTAL FENCE (EE-4), PRIVACY FENCE (EE-5), PLANTERS (EE-6), LANDSCAPED EDGE (EE-7)
FORECOURT (FR-6)	LOW WALL (EE-1), RAISED EDGE (EE-2), STAIRS(EE-3), PLANTERS (EE-6), LANDSCAPED EDGE (EE-7)

NOTE:
1 - PRIVACY FENCES SHALL BE USED FOR SCREENING OF UTILITY AND SERVICE AREAS AND SHALL BE NO TALLER THAN SIX FEET ZERO INCHES

TOWN/VILLAGE OF MT.KISCO: PARKING CALCULATION						
2ND & 3RD FLOOR	USE CLASSIFICATION	REQUIRED	CALCULATION	REQUIRED	EXISTING	PROPOSED
REMAINING	APARTMENTS ONE-BEDROOM DWELLING	1.25 SPACES PER DWELLING	4 APARTMENTS x 1.25 = 5 SPACES	5		
	APARTMENTS TWO-BEDROOM DWELLING	1.5 SPACES PER DWELLING	4 APARTMENTS x 1.5 = 6 SPACES	6		
	APARTMENTS THREE-BEDROOM DWELLING	1.75 SPACES PER DWELLING	2 APARTMENTS x 1.75 = 4 SPACES	4		
	GUEST SPOTS NON-ASSIGNED RESIDENTIAL GUESTS	0.10 SPACES PER DWELLING	10 DWELLINGS x 0.10 = 1 SPACE	1		
TOTAL - see note 1 below				15	43	36
HANDICAP				1 PER 25 SPACES PROVIDED *2	1	2

TOWN/VILLAGE OF MT.KISCO: BICYCLE PARKING CALCULATION						
1ST FLOOR (COMMERCIAL)	USE CLASSIFICATION	REQUIRED COVERED BICYCLE STORAGE SPACES	CALCULATION	REQUIRED	EXISTING	PROPOSED
	OFFICE	10% OF PLANNED OCCUPANCY	3 STAFF MEMBERS x .1 = .3			
	PHYSICAL TRAINING (DANCE STUDIO)		+ 4 PARTICIPANTS + 2 STAFF MEMBERS x .1 = .6			
	BULK HOUSEHOLD (BILOTTA KITCHEN)		+ 6 STAFF MEMBERS x .1 = .6			
	SERVICE ESTABLISHMENT (A/V SHOP)		+ 3 STAFF MEMBERS x .1 = .3			
	COMMERCIAL VISITORS		+ 1 VISITOR*1 SPACE FOR EVERY NON-RETAIL COMMERCIAL SPACE	TOTAL PLANNED OCCUPANCY = 18 18 OCCUPANTS x .1 = 1.8	2	
2ND & 3RD FLOOR	ONE, TWO, & THREE BEDROOM DWELLING	5 SPACE PER UNIT + 1 VISITOR*2 SPACE PER 10 UNITS	10 APARTMENTS x .5 = 5 SPACES 10 %10 = 1 VISITOR SPACE	6		
TOTAL				12	0	12

NOTE:
*1 - S.S.110-27.4.H.3(b)(3)(b): Provide visitor bicycle racks on site with at least one bicycle space per 10,000 square feet of commercial non-retail space, but not fewer than four bicycle spaces per building
*2 - S.S.110-27.4.H.3(b)(1)(b): Provide secure visitor bicycle racks on-site, with at least one bicycle space per 10 dwelling units but not fewer than four spaces per project site

GENERAL NOTES

CONCRETE

- General:** Work includes concrete footings, foundation walls, grade beams and piers, slabs on grade and all concrete work indicated on drawings or as hereinafter specified.
- Concrete:**
 - "Ready-Mix" product, proportioned to produce 3,000 psi ultimate strength at 28 days concrete for foundation walls and footings, grade beams and piers, floor slabs, batched at a central plant and transported dry to the site. Water for four inch (4") slump shall be added at the job site and mixing carried out for fifteen (15) minutes.
 - Concrete work shall conform to ACI-318-71.
 - All footings shall rest on undisturbed soil or rock having a minimum bearing capacity of (2) tons per square foot.
 - Footings shall not be placed on rock whose surface slopes more than 10 percent.
 - Bottom of exterior footings to be carried a minimum of 3'-6" below finish grade.
 - Where footings are stepped, bottom to be stepped not more than 2 feet vertical to four feet horizontal.
 - Steel concrete reinforcing bars: billet steel deformed bars, ASTM-A615 sizes noted on drawings. Welded wire mesh (WWM): Grade 40, ASTM I-185 sizes on drawings.
 - Provide bearing plates leveled up with no shrink grout for all beams bearing on concrete masonry. All steel leveling plates to be 1/4" thick size to match base plates.
 - Slabs on Grade: All floor slabs on grade shall be four inches (4") thick with 6x6, 1.4x1.4 wire mesh reinforcing, placed in middle steel trowel finish.
 - Sub-grades shall be maintained eight inches (8") below finish floor. Over entire area of sub-grade, fill with minimum four inches (4") compacted bank run gravel and sand topping to eliminate protrusions. Provide a 6 mil polyethylene film vapor barrier over the sand topping with 6" lap at joints.

MASONRY

General: Brick and concrete masonry walls shall conform to the "recommended practice for engineered brick masonry", latest edition by Structural Clay Products Institute, and "specifications for the design and construction of load bearing concrete masonry" by National Concrete Masonry Association.
Material: All mortar shall be ASTM - C270 type S. Bricks shall have a minimum strength of 6000 psi. Provide solid blocking at perimeter walls (2 courses in).

METALS

General: Steel construction shall conform to AISC manual of steel construction, latest edition. Contractor to verify all dimensions and heights of steel in field.
Material: All structural steel shall be new, clean, straight and shall conform to ASTM A-36. Columns unless otherwise noted shall be 3" I.D. tube columns with sizes and locations indicated. Furnish Mill Certificates.
a) Threaded anchor bolts shall be 1/2" x 12" long at 4'-0" O.C. maximum of A36 or A307 steel, placed in all foundation walls, and 12" from all corners set up high enough to attach the sill plates as indicated on sections and details. See sections for locations of bolts for proper alignment with wood plates.
b) All structural steel shall be shop primed with grey zinc chromate primer 2.0 mils thick.
c) Shop connections shall be welded or bolted unless otherwise noted on the drawings, field connections may be made with machine bolts, minimum bolt size 1/2" or as noted on the drawings.

WOOD

General: All framing lumber is to be "#2 or Better" Grade Douglas fir-larch. Provide built-up headers at all openings, regardless whether or not shown on drawings. Minimum size of built-up headers shall be 3-2x8 in 2x6 wall construction and 2-2x10 in 2x4 wall construction. Consult the Architect if you encounter difficulty installing specified headers. All load-bearing walls are to have two top plates and be blocked at mid height. All openings in floors, and ceilings are to have double joists/rafters on all sides of opening. Block all floor joists at mid span, or 8'-0" o.c. min, whichever is less.
a) All framing for deck and exterior stairs, all base plates and all other members in contact with concrete, masonry or exposed to weather shall be pressure treated Pine. Construction Grade. All Sub-flooring is to be 3/4" thick Tongue & Groove Douglas Fir plywood glued and screwed to joists 8" o.c.
b) Provide additional layers of 3/8" plywood underlayment in areas to receive VCT flooring and 1/2" plywood underlayment in areas to receive ceramic or stone tile in "thin set". All exterior wall sheathing is to be 3/4" CDX plywood for walls and roofs.
USE OF "OSB" SHEATHING SHALL NOT BE PERMITTED ON THIS PROJECT.

ABBREVIATIONS	
A.B.	= ANCHOR BOLT
ABV	= ABOVE
ACC.	= ACCESSIBLE
ACT	= ACOUSTIC CEILING TILE
AFF	= ABOVE FINISH FLOOR
AHU	= AIR HANDLING UNIT
AL	= ALUMINUM
BLDG	= BUILDING
B.O.	= BOTTOM OF
BSMT	= BASEMENT
CPT	= CARPET
CMU	= CONCRETE MASONRY UNIT
CB	= CATCH BASIN
CJ	= CONTROL JOINT
CL	= COLUMN LINE
CLG	= CEILING
CONC.	= CONCRETE
CONT.	= CONTINUOUS
CONN.	= CONNECTION
CORR.	= CORRIDOR
CT	= CERAMIC TILE
DI	= DRAIN INLET
DMG.	= DAMAGED
DN.	= DOWN
DWH	= DOUBLE HUNG WINDOW
EBR.	= ELECTRIC BASEBOARD RADIATOR
EL.	= ELEVATION
ELEC.	= ELECTRICAL
EQ.	= EQUAL
EW	= ELECTRIC WATER COOLER
[E] EXIST.	= EXISTING
F.A.P.	= FIRE ALARM PANEL
F.C.	= FOOT CANDLE
F.D.	= FLOOR DRAIN
F.E.C.	= FIRE EXTINGUISHER CABINET
F.F.	= FINISH FLOOR
F.G.	= FIBER GLASS
FNR	= FIN TUBE RADIATOR
FL.	= FLOOR
GA.	= GAUGE
GL.	= GLASS
GWB	= GYPSUM WALL BOARD
HDR	= HEADER
HGT.	= HEIGHT
HM	= HOLLOW METAL
INSUL.	= INSULATION
L	= LONG
LWF	= LIGHT METAL FRAMING
MAX.	= MAXIMUM
MEP.	= MECH./ELEC./PLUMB
MIN.	= MINIMUM
M.O.	= MASONRY OPENING
M.R.	= MOISTURE RESISTANT
N	= NEW
O.C.	= ON CENTER
O.H.	= OVERHEAD
PL	= PLATE
P.T.	= PRESSURE TREATED
P	= PAINT
RAO.	= RADIUS
RD	= ROOF DRAIN
REQ.	= REQUIRED
R+R	= REMOVE AND REPLACE
S&S	= STAINED & SEALED
SM	= SIMILAR
SS	= STAINLESS STEEL
STL.	= STEEL
STOR.	= STORAGE
T.O.	= TOP OF
TYP.	= TYPICAL
UNO.	= UNLESS NOTICED OTHERWISE
VF	= VERY IN FIELD
VCB	= VINYL COVE BASE
VCT	= VINYL COMPOSITION TILE
W	= WIDE
WC	= WASH CLOSET
W/	= WITH
WD	= WOOD
WDO	= WINDOW
WH	= WATER HEATER

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ENGINEERED LUMBER

General: Strictly follow all manufacturer's storage, handling and installation instructions for all engineered wood products.
a) All engineered lumber (TJI Joists, Microlam LVL, Timberstrand LSL, Parallam PSL) shall be as manufactured by Trus-Joist. Alternative material will be considered upon the submission of all necessary product information, including certified engineering calculations for all members to be substituted.
b) All material shall comply with NES Report No. NER-481. Wood veneers shall be ultrasonically graded, or graded by other advanced grading system. Adhesives shall be of waterproof type conforming to the requirements of ASTM D-2559.
c) Engineered lumber for exterior use shall be "walmalized" treated per manufacturer's specifications.
d) Engineered lumber shall be manufactured in a plant listed in the reports referred to above and under the supervision of an approved third party inspection agency. It shall be manufactured in a continuous process with all grain parallel with the length of the members. All members shall be free of finger or scarf joints or mechanical connections in full length members.
e) All members shall be identified by a stamp indicating the product type and grade, NER, or CCMC report number, manufacturer's name, plant number and the inspection agency logo.
f) All hardware used in connection with the engineered lumber shall be suitable and approved by the lumber manufacturer. submit manufacturer's product sheets for items in question.
g) Products shall be proven by testing and evaluation in accordance with the provisions of ASTM D-5456.

h) All lumber shall be stored in an approved manner, and protected from weather. It shall be erected and installed in accordance with the plans and with the manufacturer's installation instructions.
i) Temporary loads exceeding design limits are not permitted. All holes, cuts and other modifications shall be installed in strict accordance with manufacturer's instructions. Holes, cuts, or notches not approved by the manufacturer's engineering department shall not be permitted. The erection of all engineered lumber shall be under the direction of a qualified construction supervisor.
j) Lateral nail holding and withdrawal are as provided in the code of Douglas Fir sawn lumber (SG=0.50). Nails installed parallel to the glue lines on the narrow face shall not be spaced closer than 4" for 10d (3") common nails and 3" for 8d (2.5") common nails. Nails installed perpendicular to the glue lines on the wide face shall be installed in accordance with the code. These nailing specifications are based on min. 3/4" thick and 3 1/2" wide member.
k) The contractor shall give notification to manufacturer's representative prior to closing of engineered lumber to provide opportunity for review of the installation.
l) Fire rating: All engineered lumber is permitted to be used in fire-resistive assemblies as a substitute for conventional wood framing. It shall be sized for the same load-bearing capacity as the solid-sawn lumber specified in such assembly, and its dimensions shall be equal or greater to those of solid-sawn lumber.

STEEL

a) Welding procedures, welders, welding operations and tackers shall be qualified in accordance with the AWS "Structural Welding Code". In addition, all welders must have been certified in accordance with the AWS for the welding position required within the 12 month period prior to the performance of each welding operation.
b) Inspection and testing of structural steel fabrication, erection and all steel bolt connections will be performed by an independent Testing Agency or certified inspector. Materials and workmanship shall be subject to inspection and testing in mill, shop and/or field by Architect and/or Testing Agency.
c) The Contractor shall submit the name and location of fabricator, give notice of commencement of fabrication, allow full facilities for inspection, and shall provide such assistance to inspector as may be required for proper inspection. Ten days' written notice shall be given to Architect prior to delivery of steel to job and start of erection.
d) Make reports of each inspection and promptly delivers to the Architect. Inspection is for the protection of the Owner and does not relieve the Contractor of responsibility relative to producing the specified results.
e) Furnish to the Architect, manufacturer's certification or letter of compliance of bolt, nut, washer and filler material for welding.
f) Provide the inspection service with the following:
1. Information as to time and place of starting fabrication on shop.
2. A complete set of approved shop and erection drawings.
3. Cutting lists, order sheets, material bills and shipping bills.
4. Representative sample pieces requested by the inspection agency, for testing, if necessary.
5. Full and ample means of assistance for testing inspection of material.
6. Proper facilities, including scaffolding, temporary work platforms, etc., for inspection of the work in shop and field.

e) Impact wrenches shall be calibrated each day at beginning of work, each time the bolt size or length or pressure hose is changed, and at such other times as the inspection service may direct. The Owner's Inspection Service will make periodic checks of high strength steel bolted connections in the field. Maintain at all times during fabrication and erection a manual torque wrench and a suitable gauge for calibrating the torque wrench. Provide scaffolding and personnel as required for the testing of connections by the Owner's Inspection Service inspectors.

Work in Cold Weather

- No work with materials containing water shall be carried on during unreasonably cold weather.
- Such work may be started when temperature is 28 degrees F and rising, and shall be stopped when temperature is 34 degrees F and falling. Furthermore, during such cold weather conditions the following precautions shall be taken:
 - Water shall be heated and kept warm.
 - Sand shall be heated and kept warm.
 - An anti-freeze such as "Euco" made by Euclid Chemical Co. "Tri-Mix" by Sonneborn, or "No Freeze" by Horn shall be added to the mixture in proportions as recommended by the manufacturer.
 - Material shall be placed as soon as possible and shall not be permitted to get cold.
 - No material containing ice or frozen parts shall be used.
- All work shall be protected against cold weather or frost by means of hay, straw, canvas, "salamander" heaters or other approved methods. Work damaged by cold weather or frost will not be accepted and shall be replaced at no additional cost to the Owner.
- It shall be the Contractor's responsibility to correct all work damaged by cold weather or frost.

Permits

The Contractor is responsible for obtaining any and all permits, pay all fees, prepare and file all necessary forms, for all required approvals and inspections by all agencies having jurisdiction, including the general permit from the local building department. Construction Trade shall be responsible for obtaining permits relevant to their respectable trades (i.e.:UL - electrical permits and inspection; plumbing permits and inspections if applicable). The contractor shall provide the owner with a Certificate of Occupancy upon completed of the job.

SITEWORK: EXCAVATION AND BACKFILL

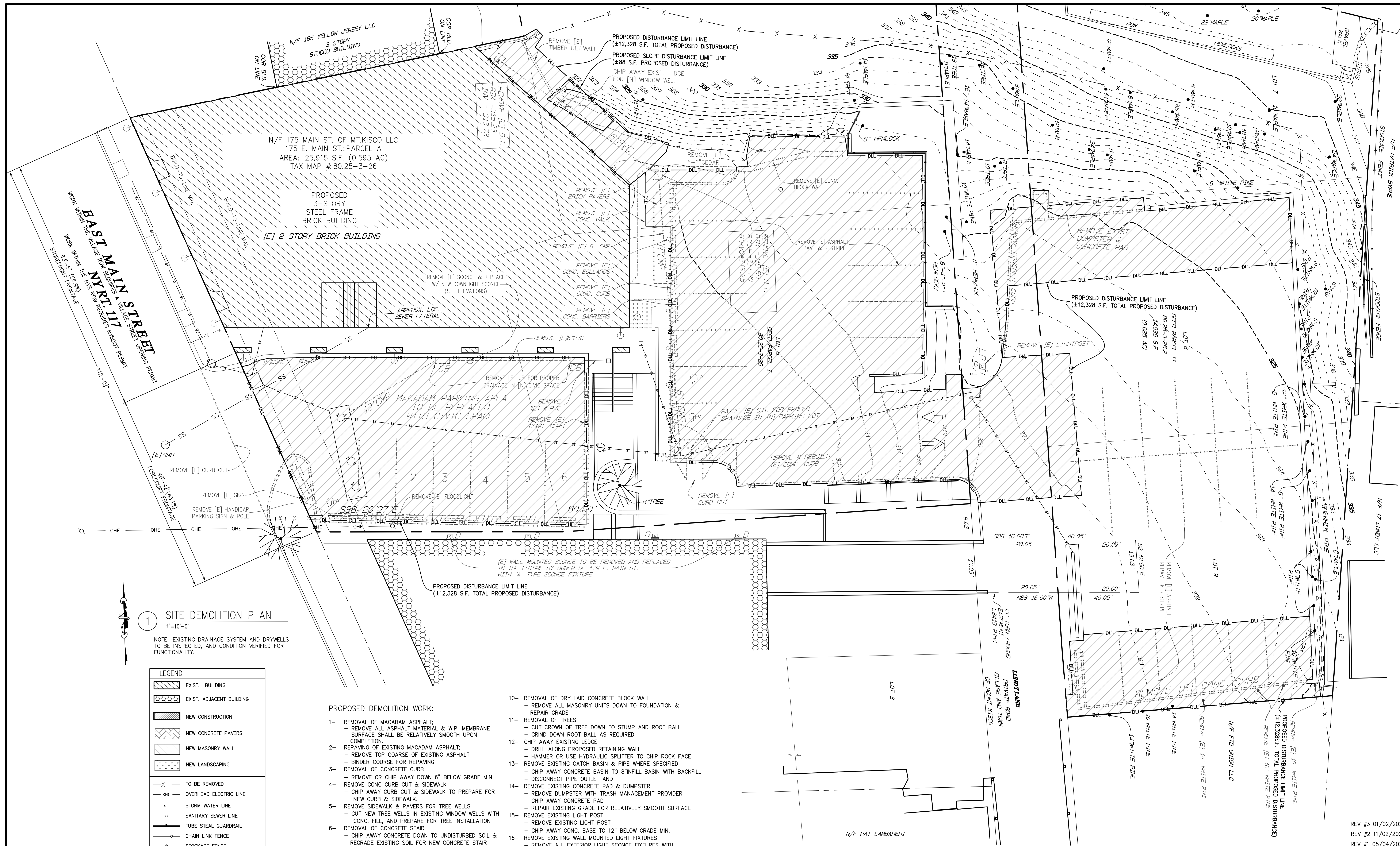
General: The work under this section shall include all necessary labor, material, equipment and fees required for the proper execution of the site work as shown on the drawings and/or described herein. The work included building (foundation) excavation, retaining walls, backfill and rough grading.
Ordinances: All work shall be in conformance with all applicable codes and ordinances and shall be executed in a workmanlike manner.
a) At no time shall bulldozers, trucks or other heavy equipment be permitted to approach foundation walls, grade beams and piers closer than 8 feet, unless walls and piers are braced and/or first floor beams and joists are installed.
b) Footing Trenches: Excavate for all footings and proper sub-grades. Bottom of all footings shall be level and kept free of standing water at all times.
c) Where footings are stepped, bottoms to be stepped not more than two feet vertical to four feet horizontal.
d) Where rock is encountered, the contractor shall notify the Architect immediately.
e) The Contractor shall expose all areas cleanly for inspection. The Architect and his structural consultant will advise the Contractor of the measures for construction.
f) Backfill is to be comprised of clean earth, free from any wood or debris.
g) Backfill and sub-grades below slabs shall be placed in 6" lifts and to be compacted after lift. Areas under concrete slabs to be backfilled shall be fully compacted to 95% of proctor density with power tamper.
h) Do not backfill against foundation walls until the concrete has achieved design strength and/or until first floor framing is secured.
i) Termites and pest control: Upon the discovery of termites, borers, rodent and other pests, the contractor shall notify the Architect and the Owner immediately.

NOTE:
THESE PLANS WERE PREPARED IN COMPLIANCE WITH THE 2020 BUILDING CODE OF NEW YORK STATE

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TITLE
ADDITION TO EXISTING MULTI-USE BUILDING FOR 175 MAIN ST OF MOUNT KISCO LLC
175 EAST MAIN STREET MT.KISCO, NY, 10549
TAX MAP I.D.: 80.25-3-26 + 80.25-3-26.2
LOCATION MAP, ZONING TABLES, PARKING CALCULATION TABLE, ABBREVIATION KEY, GENERAL NOTES & CLIMATE DESIGN CRITERIA TABLE

JOB NO.	2021-450	DWG. NO.	C1
DATE	01/11/2022		
SCALE	AS NOTED		
DRAWN / CHECKED BY	VKSA		
JOB NAME	175 EAST MAIN	1 OF 15	



1 SITE DEMOLITION PLAN
1"=10'-0"

NOTE: EXISTING DRAINAGE SYSTEM AND DRYWELLS TO BE INSPECTED, AND CONDITION VERIFIED FOR FUNCTIONALITY.

LEGEND	
	EXIST. BUILDING
	EXIST. ADJACENT BUILDING
	NEW CONSTRUCTION
	NEW CONCRETE PAVERS
	NEW MASONRY WALL
	NEW LANDSCAPING
	TO BE REMOVED
	OVERHEAD ELECTRIC LINE
	STORM WATER LINE
	SANITARY SEWER LINE
	TUBE STEEL GUARDRAIL
	CHAIN LINK FENCE
	SILT FENCE FOR CONSTRUCTION
	DISTURBANCE LIMIT LINE

PROPOSED DEMOLITION WORK:

- 1- REMOVAL OF MACADAM ASPHALT;
- REMOVE ALL ASPHALT MATERIAL & W.P. MEMBRANE - SURFACE SHALL BE RELATIVELY SMOOTH UPON COMPLETION.
- 2- REPAIRING OF EXISTING MACADAM ASPHALT;
- REMOVE TOP COARSE OF EXISTING ASPHALT
- BINDER COURSE FOR REPAVING
- 3- REMOVAL OF CONCRETE CURB
- REMOVE OR CHIP AWAY DOWN 6" BELOW GRADE MIN. REMOVE CONC CURB CUT & SIDEWALK
- 4- REMOVE EXISTING SIDEWALK
- CHIP AWAY CURB CUT & SIDEWALK TO PREPARE FOR NEW CURB & SIDEWALK.
- 5- REMOVE SIDEWALK & PAVERS FOR TREE WELLS
- CUT NEW TREE WELLS IN EXISTING WINDOW WELLS WITH CONC. FILL, AND PREPARE FOR TREE INSTALLATION
- 6- REMOVAL OF CONCRETE STAIR
- CHIP AWAY CONCRETE DOWN TO UNDISTURBED SOIL & REGRADE EXISTING SOIL FOR NEW CONCRETE STAIR
- 7- REMOVAL OF CONCRETE SIDEWALK & CONCRETE PAD
- CHIP AWAY CONCRETE DOWN TO EXISTING SOIL LEVEL GRADE SHALL BE RELATIVELY SMOOTH UPON COMPLETION
- 8- REMOVAL OF CONCRETE BOLLARD
- CHIP AWAY EXISTING BOLLARD DOWN 12" MIN. BELOW EXISTING GRADE
- 9- REMOVAL OF CONCRETE BARRIERS
- ALL CONCRETE BARRIERS SHALL BE REMOVED FROM PARKING AREAS

- 10- REMOVAL OF DRY LAID CONCRETE BLOCK WALL
- REMOVE ALL MASONRY UNITS DOWN TO FOUNDATION & REPAIR GRADE
- 11- REMOVAL OF TREES
- CUT CROWN OF TREE DOWN TO STUMP AND ROOT BALL
- GRIND DOWN ROOT BALL AS REQUIRED
- 12- CHIP AWAY EXISTING LEDGE
- DRILL ALONG PROPOSED RETAINING WALL
- HAMMER OR USE HYDRAULIC SPLITTER TO CHIP ROCK FACE
- 13- REMOVE EXISTING CATCH BASIN & PIPE WHERE SPECIFIED
- CHIP AWAY CONCRETE BASIN TO 8" INFILL BASIN WITH BACKFILL
- DISCONNECT PIPE OUTLET AND
- 14- REMOVE EXISTING CONCRETE PAD & DUMPSTER
- REMOVE DUMPSTER WITH TRASH MANAGEMENT PROVIDER
- CHIP AWAY CONCRETE PAD
- REPAIR EXISTING GRADE FOR RELATIVELY SMOOTH SURFACE
- 15- REMOVE EXISTING LIGHT POST
- REMOVE EXISTING LIGHT POST
- CHIP AWAY CONC. BASE TO 12" BELOW GRADE MIN.
- 16- REMOVE EXISTING WALL MOUNTED LIGHT FIXTURES
- REMOVE ALL EXTERIOR LIGHT SCONCE FIXTURES WITH LIGHT BOX TO REMAIN FOR NEW L.E.D. FIXTURES

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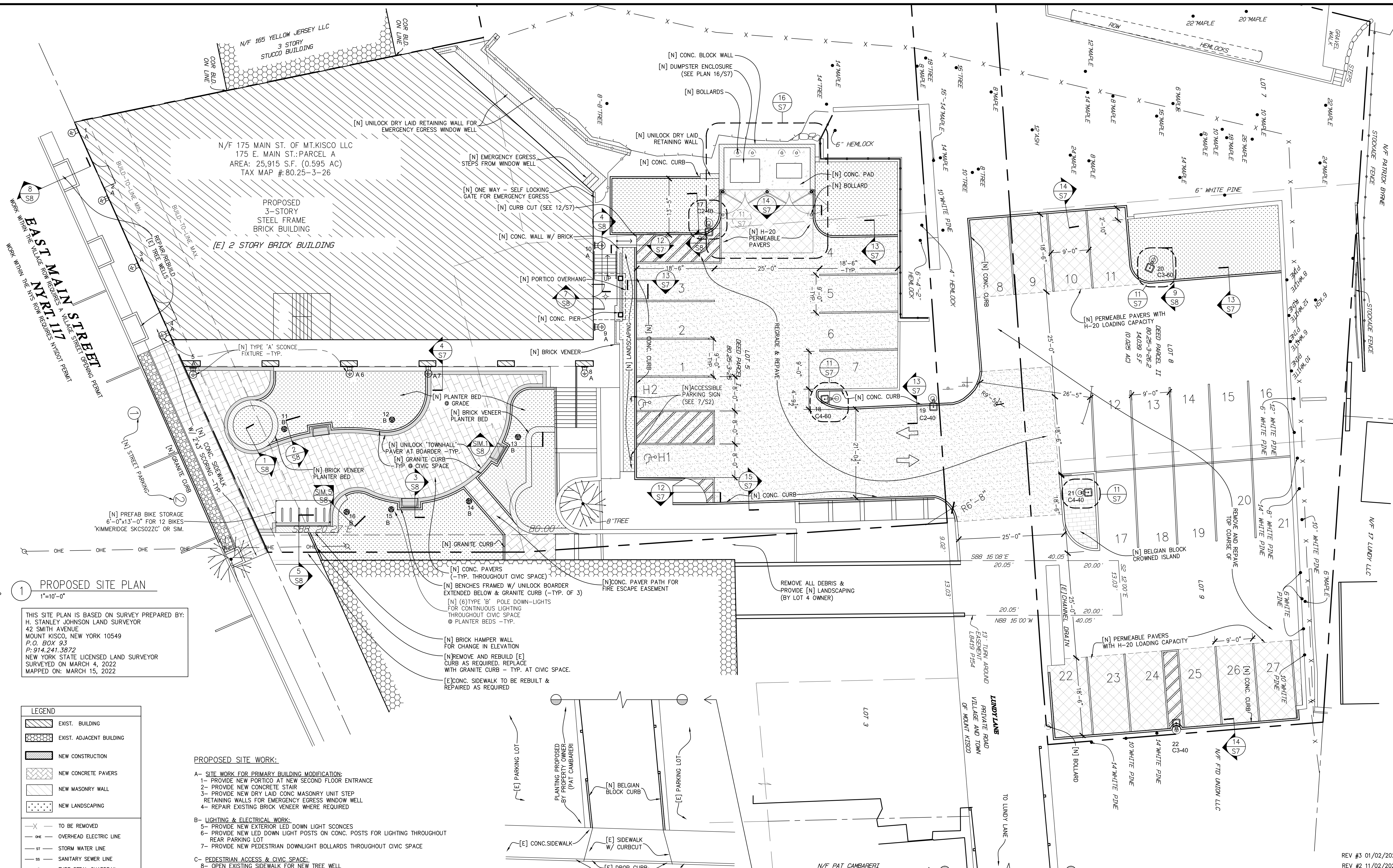
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175 EAST MAIN STREET MT. KISCO, NY, 10549
TAX MAP I.D.: 80.25-3-26 + 80.25-3-26.2

SITE DEMOLITION PLAN, DESCRIPTION OF DEMOLITION WORK, & LEGEND

JOB NO.	2021-450	DWG. NO.	
DATE	01/11/2022		
SCALE	AS NOTED		
DRAWN / CHECKED BY	VKSA		
JOB NAME	175 EAST MAIN		

S1



1 PROPOSED SITE PLAN
1"=10'-0"

THIS SITE PLAN IS BASED ON SURVEY PREPARED BY:
H. STANLEY JOHNSON LAND SURVEYOR
42 SMITH AVENUE
MOUNT KISCO, NEW YORK 10549
P.O. BOX 93
P. 914.241.5872
NEW YORK STATE LICENSED LAND SURVEYOR
SURVEYED ON MARCH 4, 2022
MAPPED ON: MARCH 15, 2022

LEGEND	
[Hatched Box]	EXIST. BUILDING
[Dotted Box]	EXIST. ADJACENT BUILDING
[Solid Box]	NEW CONSTRUCTION
[Cross-hatched Box]	NEW CONCRETE PAVERS
[Diagonal Lines]	NEW MASONRY WALL
[Stippled Box]	NEW LANDSCAPING
-X-	TO BE REMOVED
-O-E-	OVERHEAD ELECTRIC LINE
-S-	STORM WATER LINE
-SS-	SANITARY SEWER LINE
-T-	TUBE STEEL GUARDRAIL
-C-	CHAIN LINK FENCE
-S-	STOCKADE FENCE
-S-L-	SILT FENCE FOR CONSTRUCTION
-D-L-	DISTURBANCE LIMIT LINE

- PROPOSED SITE WORK:**
- A- SITE WORK FOR PRIMARY BUILDING MODIFICATION:**
- 1- PROVIDE NEW PORTICO AT NEW SECOND FLOOR ENTRANCE
 - 2- PROVIDE NEW CONCRETE STAIR
 - 3- PROVIDE NEW DRY LAID CONC MASONRY UNIT STEP RETAINING WALLS FOR EMERGENCY EGRESS WINDOW WELL
 - 4- REPAIR EXISTING BRICK VENEER WHERE REQUIRED
- B- LIGHTING & ELECTRICAL WORK:**
- 5- PROVIDE NEW EXTERIOR LED DOWN LIGHT SCONCES
 - 6- PROVIDE NEW LED DOWN LIGHT POSTS ON CONC. POSTS FOR LIGHTING THROUGHOUT REAR PARKING LOT
 - 7- PROVIDE NEW PEDESTRIAN DOWNLIGHT BOLLARDS THROUGHOUT CIVIC SPACE
- C- PEDESTRIAN ACCESS & CIVIC SPACE:**
- 8- OPEN EXISTING SIDEWALK FOR NEW TREE WELL
 - 9- REPAIR & INFILL SIDEWALK AT EXISTING CURB CUT
 - 10- PROVIDE NEW CONC PAVERS FOR CIVIC SPACE
 - 11- PROVIDE NEW BENCHES THROUGHOUT CIVIC SPACE
 - 12- PROVIDE NEW BIKE RACK IN CIVIC SPACE
 - 13- PROVIDE NEW PLANT BEDS FOR LANDSCAPING WITH GRANITE CURBS IN CIVIC SPACE
 - 14- PROVIDE NEW MASONRY WALLS WITH BRICK VENEER FOR RAISED PLANT BEDS
- D- REAR PARKING LOT & VEHICLE ACCESS:**
- 15- PROVIDE NEW CONC CURB FOR LANDSCAPING BEDS IN REAR PARKING LOT
 - 16- REGRADE AND REPAVE EXISTING PARKING LOT TO PROVIDE ACCESSIBLE PARKING AND PROPER DRIVEWAY ACCESS
 - 13- NEW DUMPSTER ENCLOSURE FOR NEW 6 YARD GARBAGE CONTAINER AND 2 YARD RECYCLING CONTAINER CMU BLOCK WALL WITH BRICK VENEER

1A PROPOSED SITE PLAN CONTINUATION
1"=10'-0"

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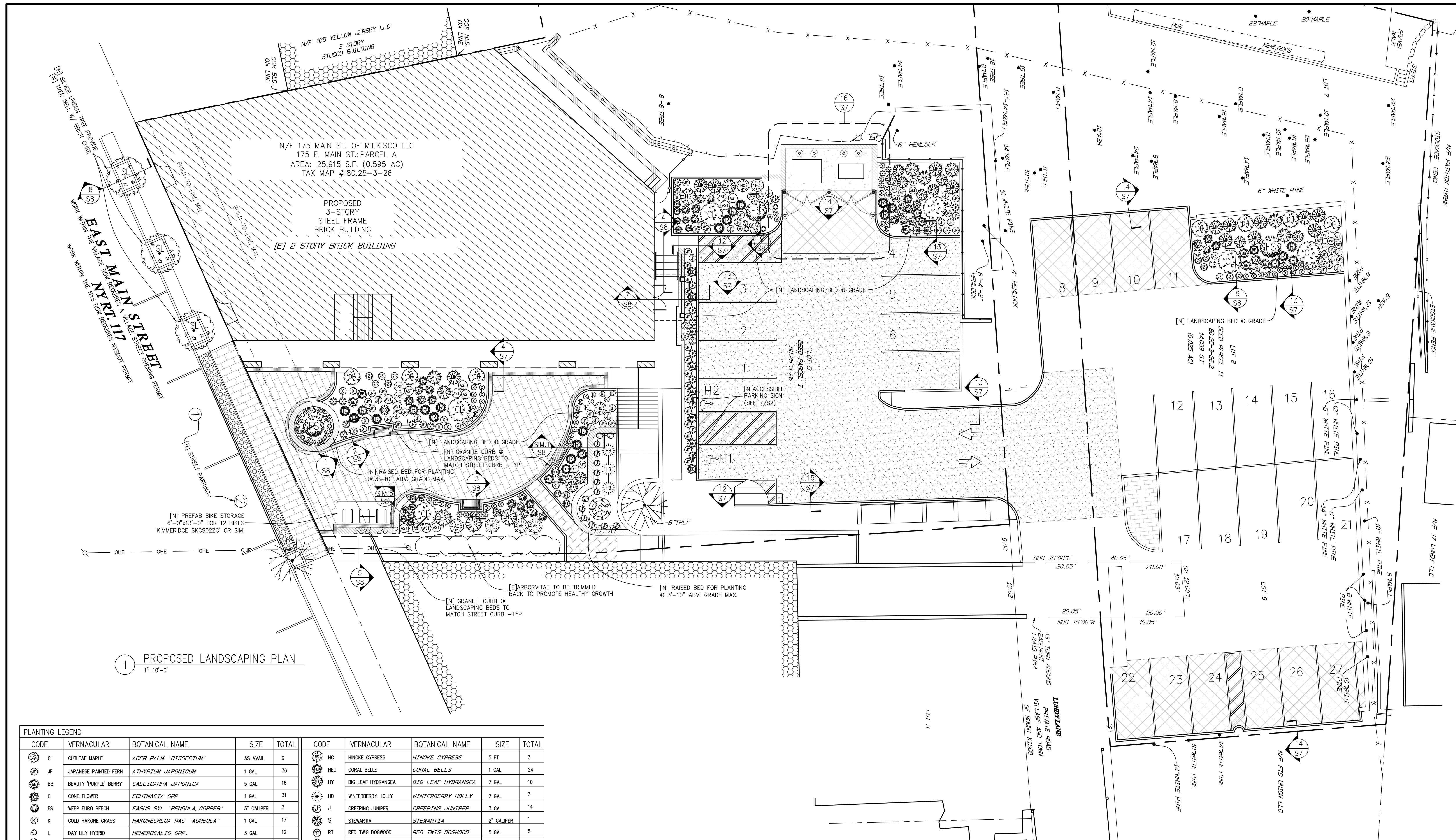
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175 EAST MAIN STREET MT. KISCO, NY, 10549
TAX MAP I.D.: 80.25-3-26 + 80.25-3-26.2
**PROPOSED SITE PLAN,
DESCRIPTION OF WORK, & LEGEND**

JOB NO.	2021-450	DWG. NO.	
DATE	01/11/2022		
SCALE	AS NOTED		
DRAWN / CHECKED BY	VKSA		
JOB NAME	175 EAST MAIN		

S2

175 EAST MAIN M.K. 2021-609



1 PROPOSED LANDSCAPING PLAN
1"=10'-0"

CODE	VERNACULAR	BOTANICAL NAME	SIZE	TOTAL	CODE	VERNACULAR	BOTANICAL NAME	SIZE	TOTAL
CL	CUTLEAF MAPLE	<i>ACER PALM 'DISSECTUM'</i>	AS AVAIL	6	HC	HINOKE CYPRESS	<i>HINOKE CYPRESS</i>	5 FT	3
JF	JAPANESE PAINTED FERN	<i>ATHYRIUM JAPONICUM</i>	1 GAL	36	HEU	CORAL BELLS	<i>CORAL BELLS</i>	1 GAL	24
BB	BEAUTY 'PURPLE' BERRY	<i>CALLICARPA JAPONICA</i>	5 GAL	16	HY	BIG LEAF HYDRANGEA	<i>BIG LEAF HYDRANGEA</i>	7 GAL	10
C	CONE FLOWER	<i>ECHINACIA SPP</i>	1 GAL	31	HB	WINTERBERRY HOLLY	<i>WINTERBERRY HOLLY</i>	7 GAL	3
FS	WEEP EURO BEECH	<i>FAGUS SYL 'PENDULA, COPPER'</i>	3" CALIPER	3	J	CREEPING JUNIPER	<i>CREEPING JUNIPER</i>	3 GAL	14
K	GOLD HAKONE GRASS	<i>HAKONECHLOA MAC 'AUROREOLA'</i>	1 GAL	17	S	STEWARTIA	<i>STEWARTIA</i>	2" CALIPER	1
L	DAY LILY HYBRID	<i>HEMEROCALIS SPP.</i>	3 GAL	12	RT	RED TWIG DOGWOOD	<i>RED TWIG DOGWOOD</i>	5 GAL	5
DH	HOLLY HYBRID	<i>ILEX AQUIPERNYI 'DRAGON LADY'</i>	6 FT.	7	HS	PEEGEE HYDRANGEA	<i>PEEGEE HYDRANGEA</i>	5 GAL	4
X	VARIEGATED LIRIOPE	<i>LIRIOPE MUSCARI 'VARIEGATA'</i>	1 GAL	66	AE	HYBRID ARBORVITAE	<i>HYBRID ARBORVITAE</i>	6-7FT	7
R	HYBRID ROSE	<i>ROSA 'KNOCK OUT'</i>	3 GAL	23	[N]	SILVER LINDEN	<i>TILIA TOMENTOSA</i>	3" CALIPER	3
GS	GOLD SPIREA	<i>SPIREA JAPONICA 'GOLD MOUND'</i>	5 GAL	14	[E]	EXIST. DECIDUOUS TREE			
MK	LILAC HYBRID	<i>SYRINGA PAT 'MISS KIM'</i>	5 GAL	21					
V	VNCA GROUND COVER	<i>VINCA MINOR</i>	FALTS	32					
AST	ASTILBE	<i>ASTILBE JAPONICA SPP</i>	1 GAL	31					

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DRAWN / CHECKED BY	VKSA		
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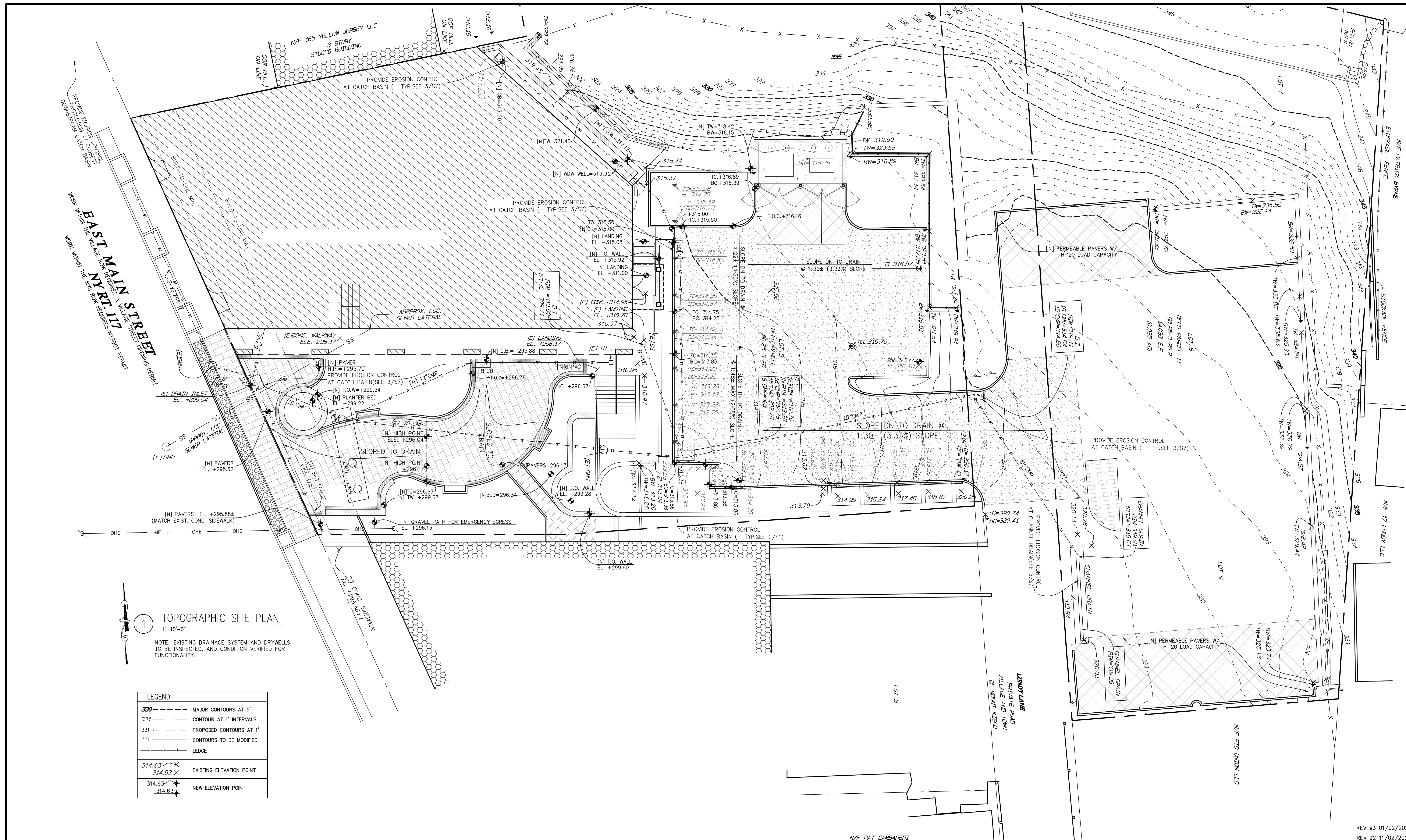
5 OF 15

S3

REV #3 01/02/2023
REV #2 11/02/2022
REV #1 05/04/2022

175 EAST MAIN M.K.

2021-450



1 TOPOGRAPHIC SITE PLAN
1"=10'-0"

NOTE: EXISTING DRAINAGE SYSTEM AND DRYWELLS TO BE INSPECTED, AND CONDITION VERIFIED FOR FUNCTIONALITY.

LEGEND	
330	MAJOR CONTOURS AT 5'
331	CONTOUR AT 1' INTERVALS
331	PROPOSED CONTOURS AT 1'
331	CONTOURS TO BE MODIFIED
---	LEDGE
314.63	EXISTING ELEVATION POINT
314.63	NEW ELEVATION POINT

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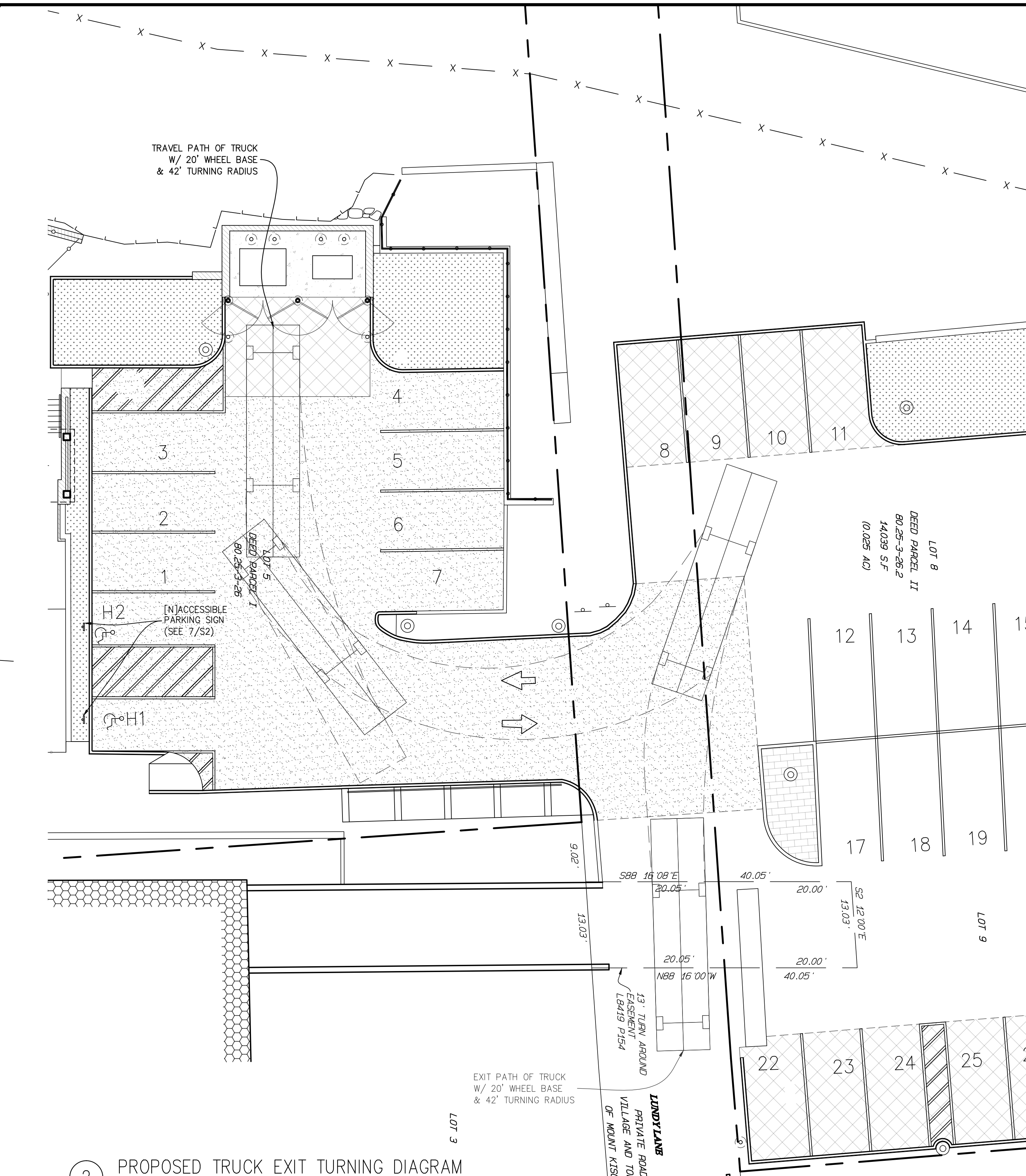
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FOR 175 MAIN ST OF MOUNT KISCO LLC
175 EAST MAIN STREET MT. KISCO, NY, 10549**
TAX MAP I.D.: 80.25-3-26 + 80.25-3-26.2

**STORM WATER MANAGEMENT & TOPOGRAPHIC SITE PLAN,
& LEGEND**

JOB NO.	2021-450	DWG. NO.	S4
DATE	01/11/2022		
SCALE	AS NOTED		
DRAWN /CHECKED BY	VKSA		
JOB NAME	175 EAST MAIN	5 OF 15	

REV #3 01/02/2023
REV #2 11/02/2022
REV #1 05/04/2022

175 EAST MAIN M.K.
2021-450



1 PROPOSED TRUCK ENTRANCE TURNING DIAGRAM
1" = 10'-0"

2 PROPOSED TRUCK EXIT TURNING DIAGRAM
1" = 10'-0"

FRONT-END LOADER TRUCK SPECIFICATIONS

HEIGHT	12'-6"
WHEEL BASE	20'
WIDTH	8'-1"
OVERHEAD CLEARANCE	18'-6"
TURNING RADIUS	42'
TRUCK LENGTH	35'
TRUCK LENGTH W/ BOOM	41'

BASED ON STANDARD TRUCK USED BY EXISTING & PROPOSED WASTE MANAGEMENT COMPANY

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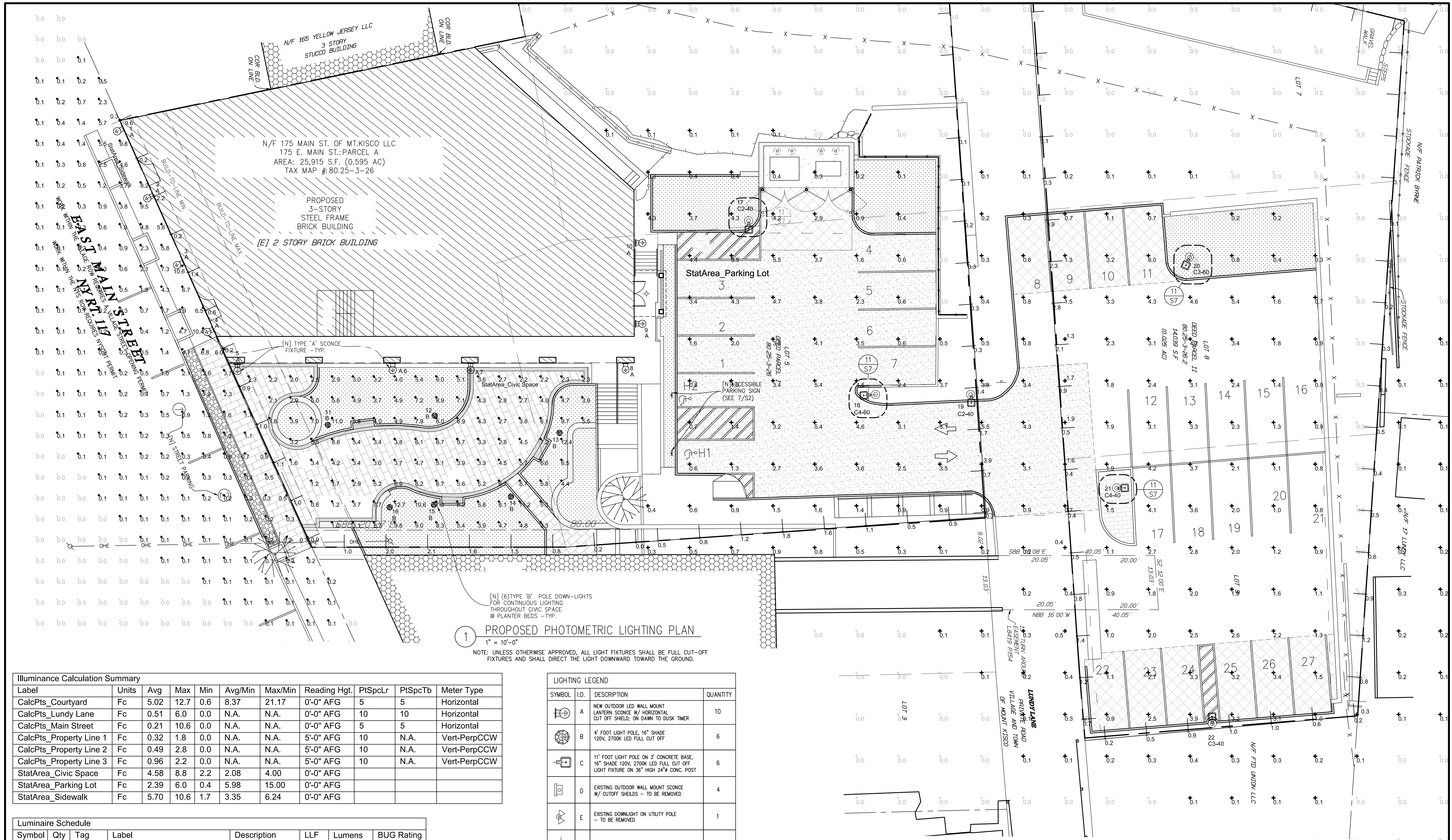
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TITLE
ADDITION TO EXISTING MULTI-USE BUILDING
FOR 175 MAIN ST OF MOUNT KISCO LLC
175 EAST MAIN STREET MT. KISCO, NY, 10549
TAX MAP I.D.: 80.25-3-26 + 80.25-3-26.2
TRUCK TURNING DIAGRAMS &
SPECIFICATION TABLE

JOB NO. 2021-450
DATE 01/11/2022
SCALE AS NOTED
DRAWN /CHECKED BY VKSA
JOB NAME 175 EAST MAIN

DWG. NO.
S5
6 OF 15

REV #3 01/02/2023
REV #2 11/02/2022
REV #1 05/04/2022



1 PROPOSED PHOTOMETRIC LIGHTING PLAN
 1" = 10'-0"

NOTE: UNLESS OTHERWISE APPROVED, ALL LIGHT FIXTURES SHALL BE FULL CUT-OFF FIXTURES AND SHALL DIRECT THE LIGHT DOWNWARD TOWARD THE GROUND.

Label	Units	Avg	Max	Min	Avg/Min	Max/Min	Reading Hgt.	PtSpcLr	PtSpcTb	Meter Type
CalcPts_Courtyard	Fc	5.02	12.7	0.6	8.37	21.17	0'-0" AFG	5	5	Horizontal
CalcPts_Lundy Lane	Fc	0.51	6.0	0.0	N.A.	N.A.	0'-0" AFG	10	10	Horizontal
CalcPts_Main Street	Fc	0.21	10.6	0.0	N.A.	N.A.	0'-0" AFG	5	5	Horizontal
CalcPts_Property Line 1	Fc	0.32	1.8	0.0	N.A.	N.A.	5'-0" AFG	10	N.A.	Vert-PerpCCW
CalcPts_Property Line 2	Fc	0.49	2.8	0.0	N.A.	N.A.	5'-0" AFG	10	N.A.	Vert-PerpCCW
CalcPts_Property Line 3	Fc	0.96	2.2	0.0	N.A.	N.A.	5'-0" AFG	10	N.A.	Vert-PerpCCW
StatArea_Civic Space	Fc	4.58	8.8	2.2	2.08	4.00	0'-0" AFG			
StatArea_Parking Lot	Fc	2.39	6.0	0.4	5.98	15.00	0'-0" AFG			
StatArea_Sidewalk	Fc	5.70	10.6	1.7	3.35	6.24	0'-0" AFG			

SYMBOL	I.D.	DESCRIPTION	QUANTITY
	A	NEW OUTDOOR LED WALL MOUNT LANTERN SCONCE W/ HORIZONTAL CUT OFF SHIELD; ON DAWN TO DUSK TIMER	10
	B	4' FOOT LIGHT POLE, 16" SHADE 120V, 2700K LED FULL CUT OFF	6
	C	11' FOOT LIGHT POLE ON 3" CONCRETE BASE, 16" SHADE 120V, 2700K LED FULL CUT OFF LIGHT FIXTURE ON 36" HIGH 24" CONC. POST	6
	D	EXISTING OUTDOOR WALL MOUNT SCONCE W/ CUTOFF SHIELDS - TO BE REMOVED	4
	E	EXISTING DOWNLIGHT ON UTILITY POLE - TO BE REMOVED	1
	F	PROPOSED RECESSED DOWNLIGHT	1
	G	EXISTING POLE LIGHT W/ CUT OFF SHIELD - TO BE REMOVED	1

Symbol	Qty	Tag	Label	Description	LLF	Lumens	BUG Rating
	10	A	CDLED4WD-20W-80D940-K	WALL MOUNT	1.000	1808	B1-U0-G0
	6	B	BLEDR24N	BOLLARD	1.000	2577	B2-U3-G2
	2	C2-40	ALEDS2TN @ 40w	ALEDS2TN	1.000	5746	B2-U0-G1
	1	C3-40	ALEDS3TN @ 40w	ALEDS3TN	1.000	5650	B1-U0-G1
	1	C3-60	ALEDS3TN @ 60w	POLE MOUNT	1.000	7778	B1-U0-G2
	1	C4-40	ALEDS4TN @ 40w	ALEDS4TN	1.000	5735	B1-U0-G2
	1	C4-60	ALEDS4TN @ 60w	POLE MOUNT	1.000	7895	B1-U0-G2

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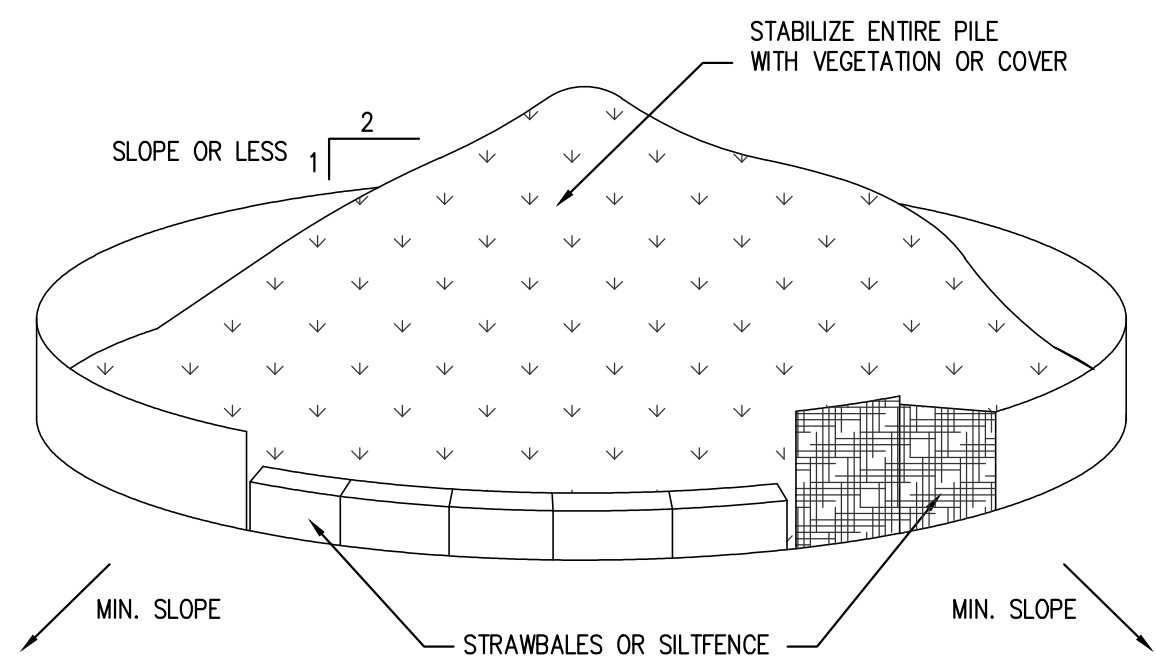
PHOTOMETRIC LIGHTING LAYOUT PLAN, ILLUMINATION CALCULATION TABLES, & LEGEND

JOB NO.	2021-450	DWG. NO.	
DATE	01/11/2022		
SCALE	AS NOTED		
DRAWN /CHECKED BY	VKSA		
JOB NAME	175 EAST MAIN		

7 OF 15

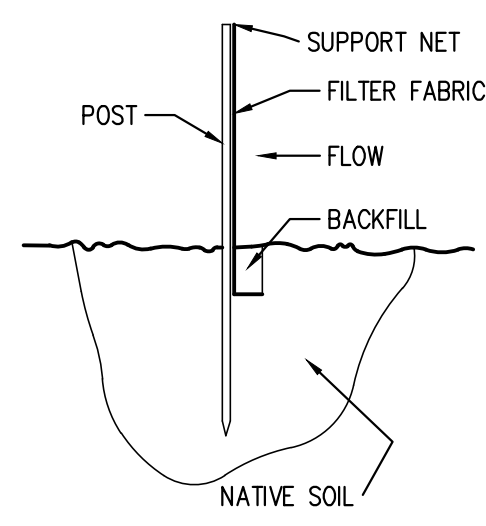
REV #3 01/02/2023
 REV #2 11/02/2022
 REV #1 05/04/2022

S6



- INSTALLATION NOTES:
1. AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE
 2. MAXIMUM SLOPE OF STOCKPILE SHALL BE 1:2
 3. UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH EITHER SILT FENCING OF STRAWBALES, THEN STABILIZED WITH VEGETATION OR COVERED FOR THE DURATION OF THE PROJECT.
 4. SEE SILT FENCE DETAIL FOR INSTALLATION.

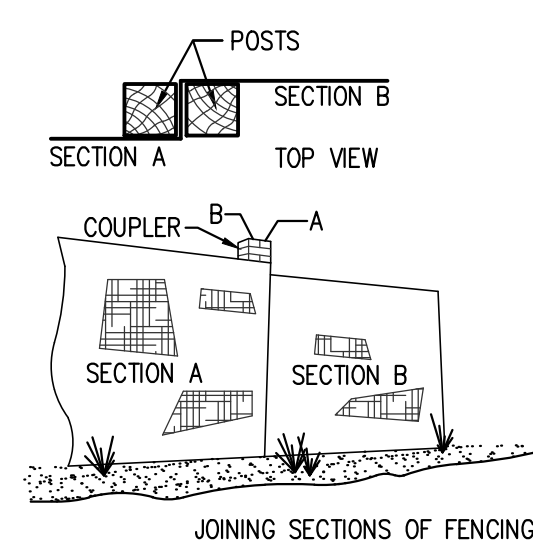
1 STOCK PILE DETAIL
N.T.S.



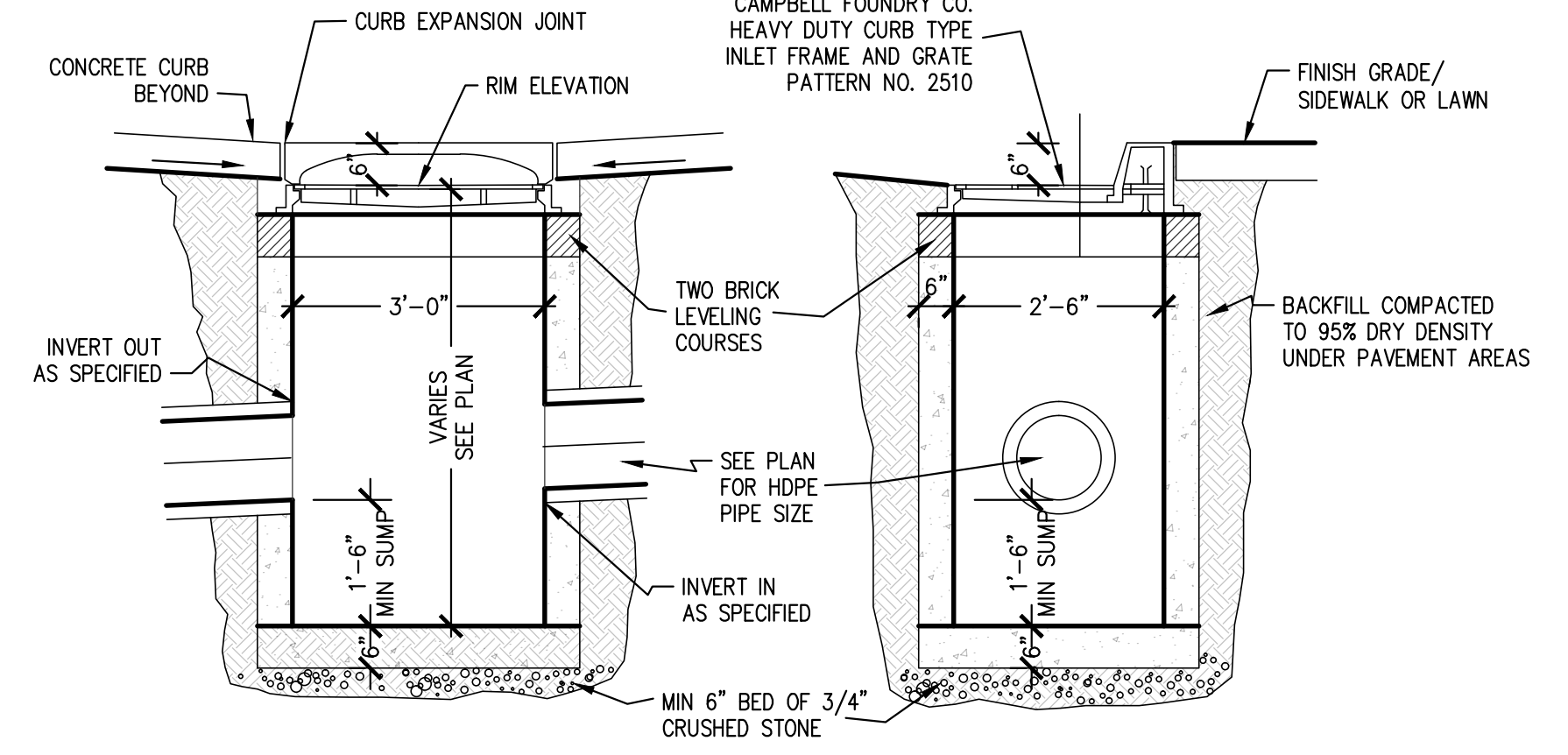
TOE - IN METHOD INSTALLATION NOTES:

1. EXCAVATE 4"x4" TRENCH ALONG THE LOWER PERIMETER OF SITE.
2. UNROLL A SECTION AT A TIME AND POSITION THE POSTS AGAINST THE BACK (DOWNSTREAM) WALL OF THE TRENCH (NET SIDE AWAY FROM DIRECTION OF FLOW)
3. DRIVE THE POST INTO GROUND UNTIL THE NETTING IS APPROX. 2" FROM THE TRENCH BOTTOM
4. LAY THE TOE-IN FLAP OF FABRIC ONTO THE UNDISTURBED BOTTOM OF THE TRENCH, BACKFILL THE TRENCH AND TAMP THE SOIL.
5. JOIN SECTIONS AS SHOWN ABOVE.

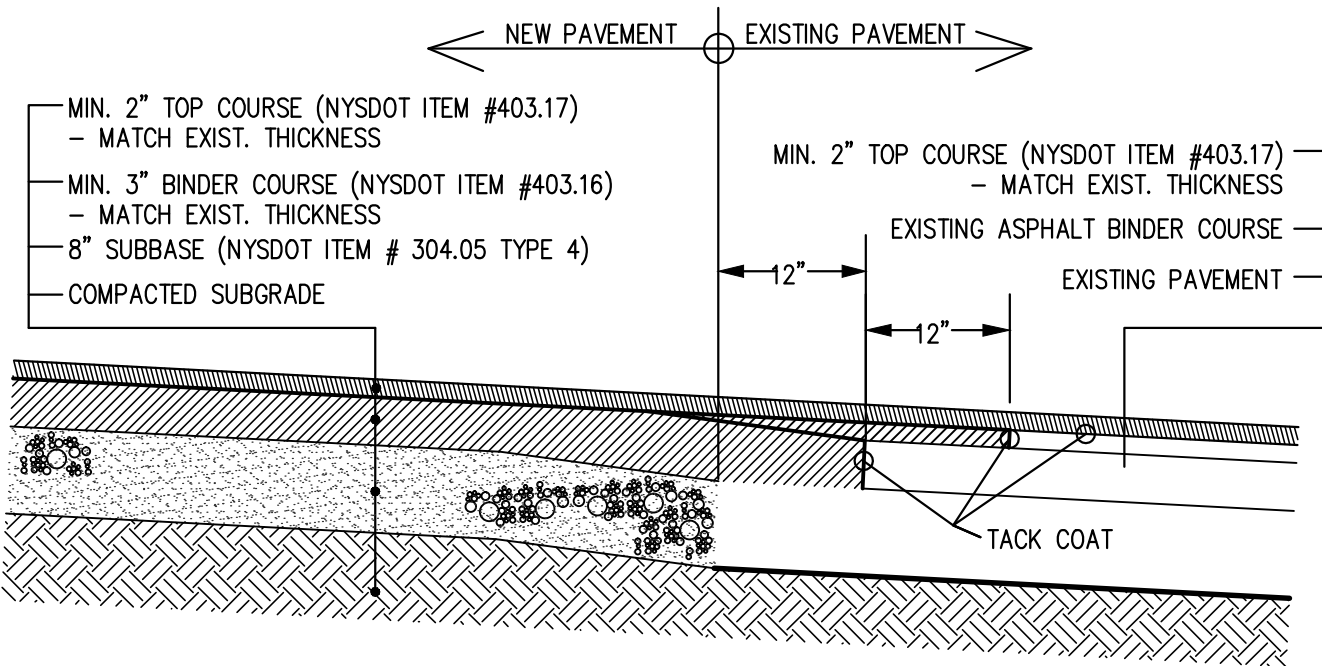
2 SILT FENCE DETAIL
N.T.S.



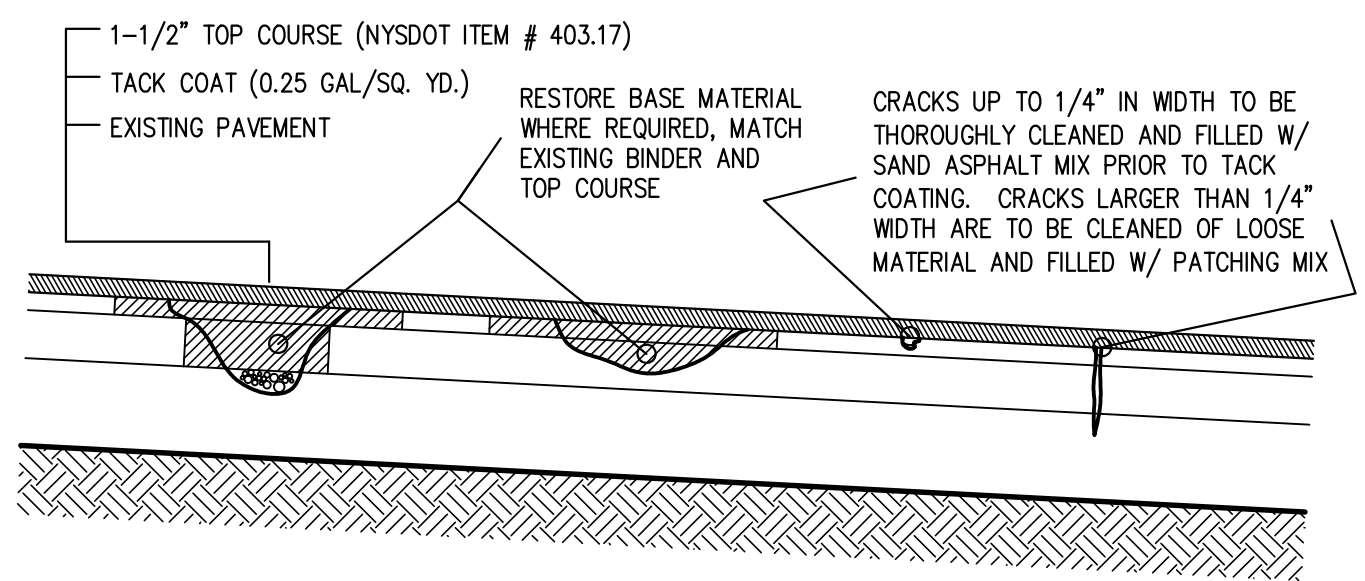
3 CATCH BASIN PROTECTION DETAIL
N.T.S.



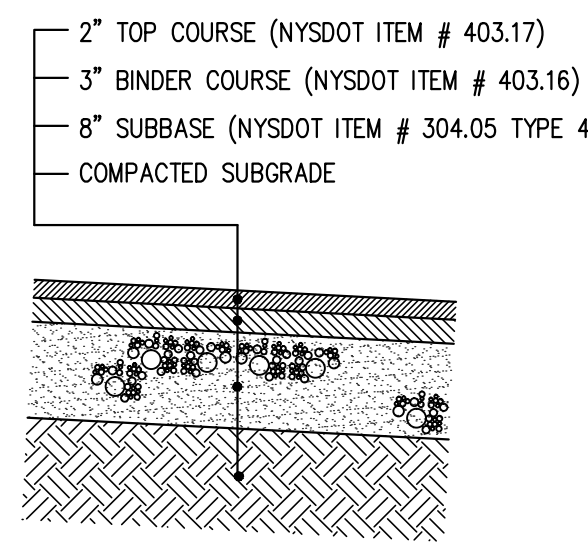
4 CURB INLET DETAIL
1/2" = 1'-0"



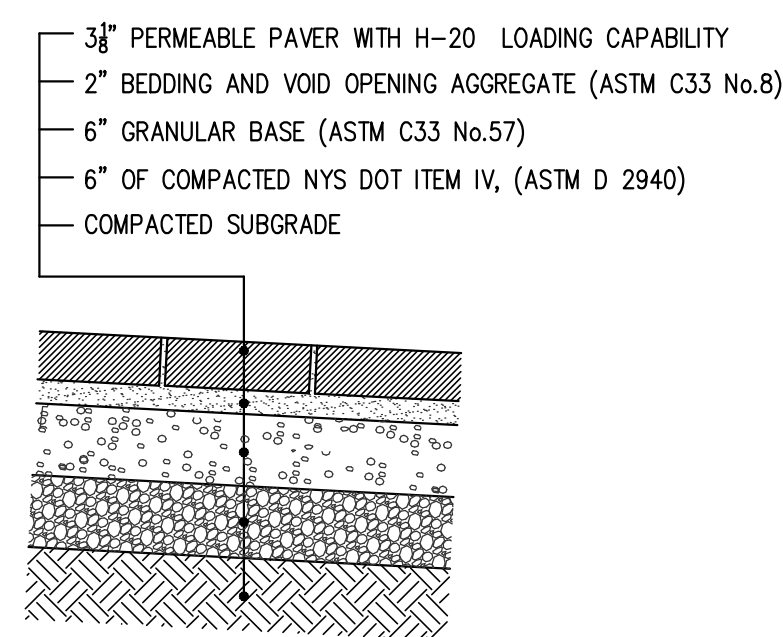
5 PAVEMENT NOTCHING DETAIL
NOT TO SCALE



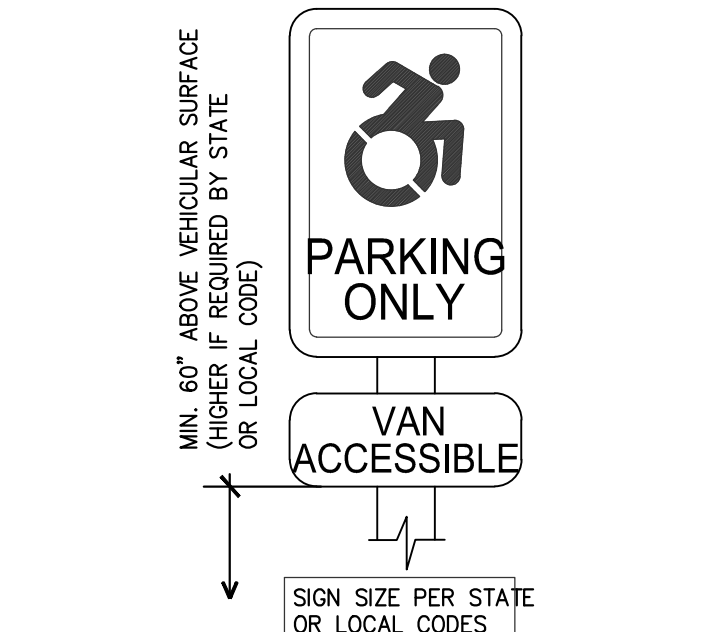
6 PAVEMENT OVERLAY
NOT TO SCALE



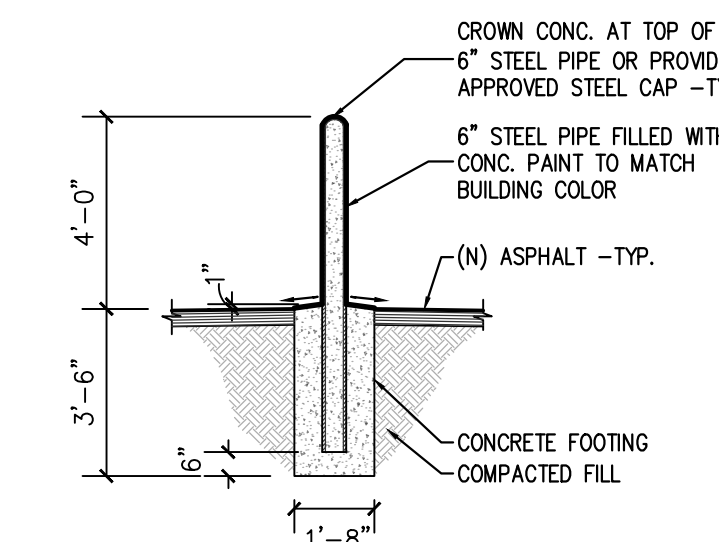
7 NEW ASPHALT PAVEMENT DETAIL
NOT TO SCALE



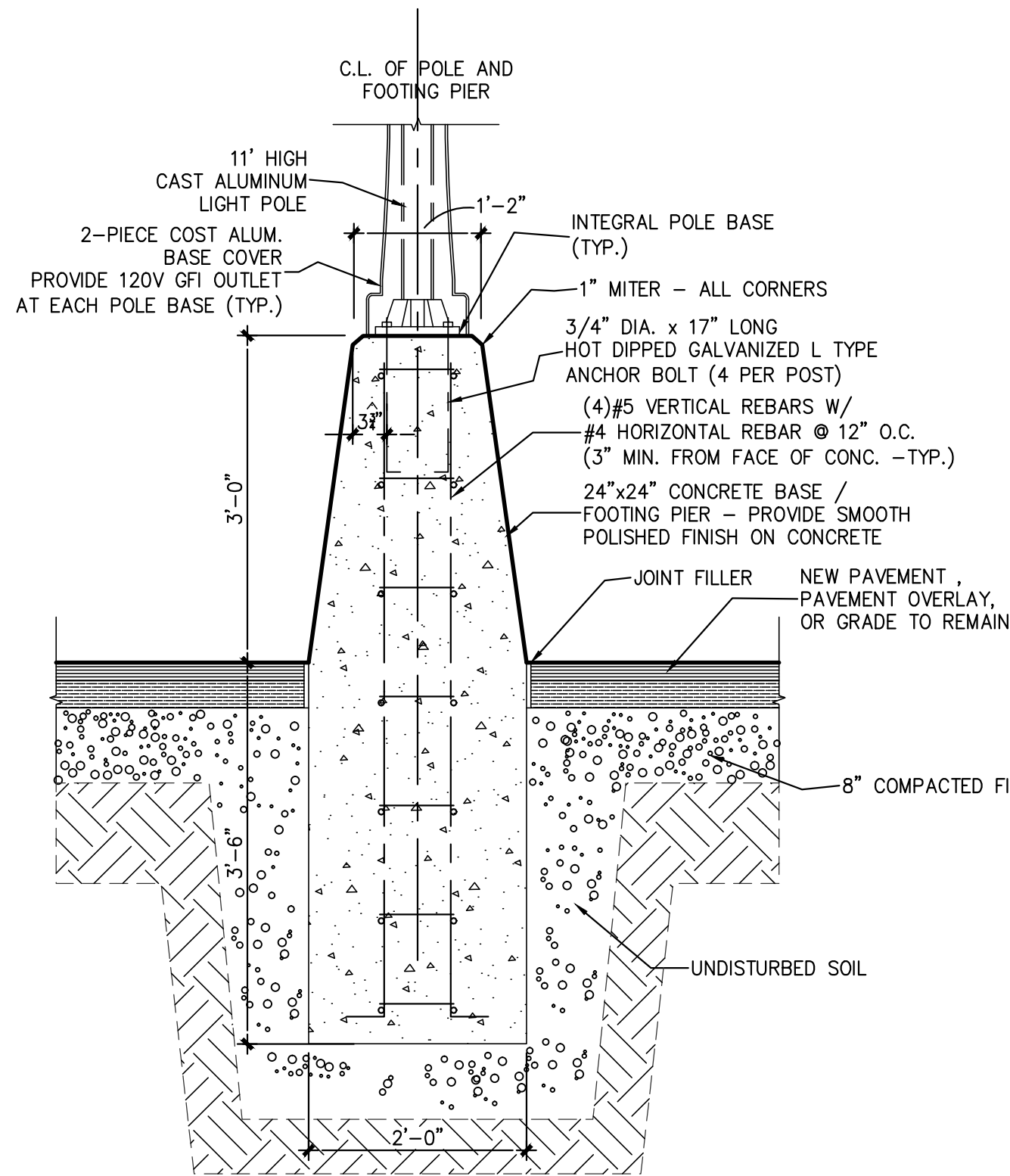
8 NEW H-20 PERMEABLE PAVER DETAIL
NOT TO SCALE



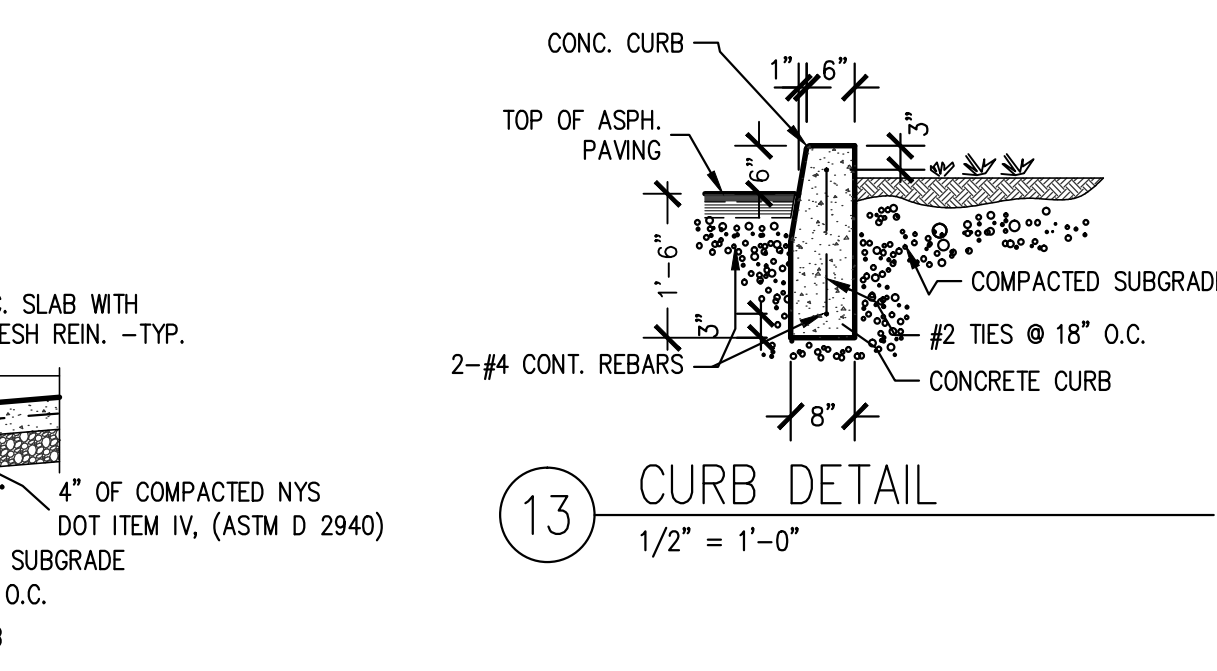
9 ACCESSIBLE PARKING SIGN
NOT TO SCALE



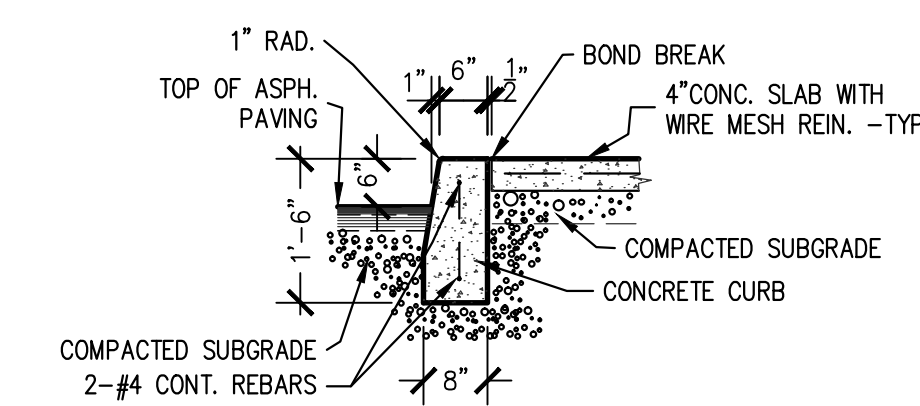
10 BOLLARD DETAIL
1/4" = 1'-0"



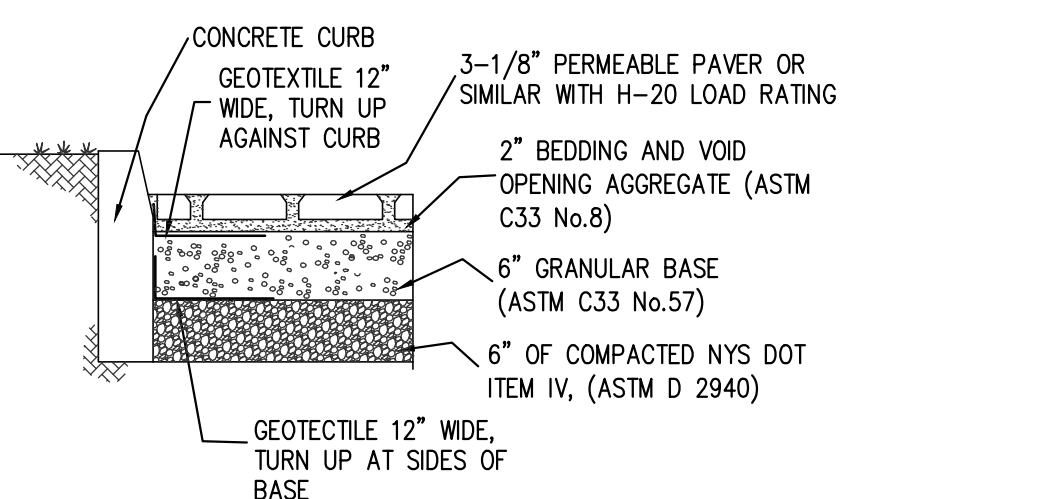
11 TYPICAL LIGHT POLE BASE DETAIL
3/4" = 1'-0"



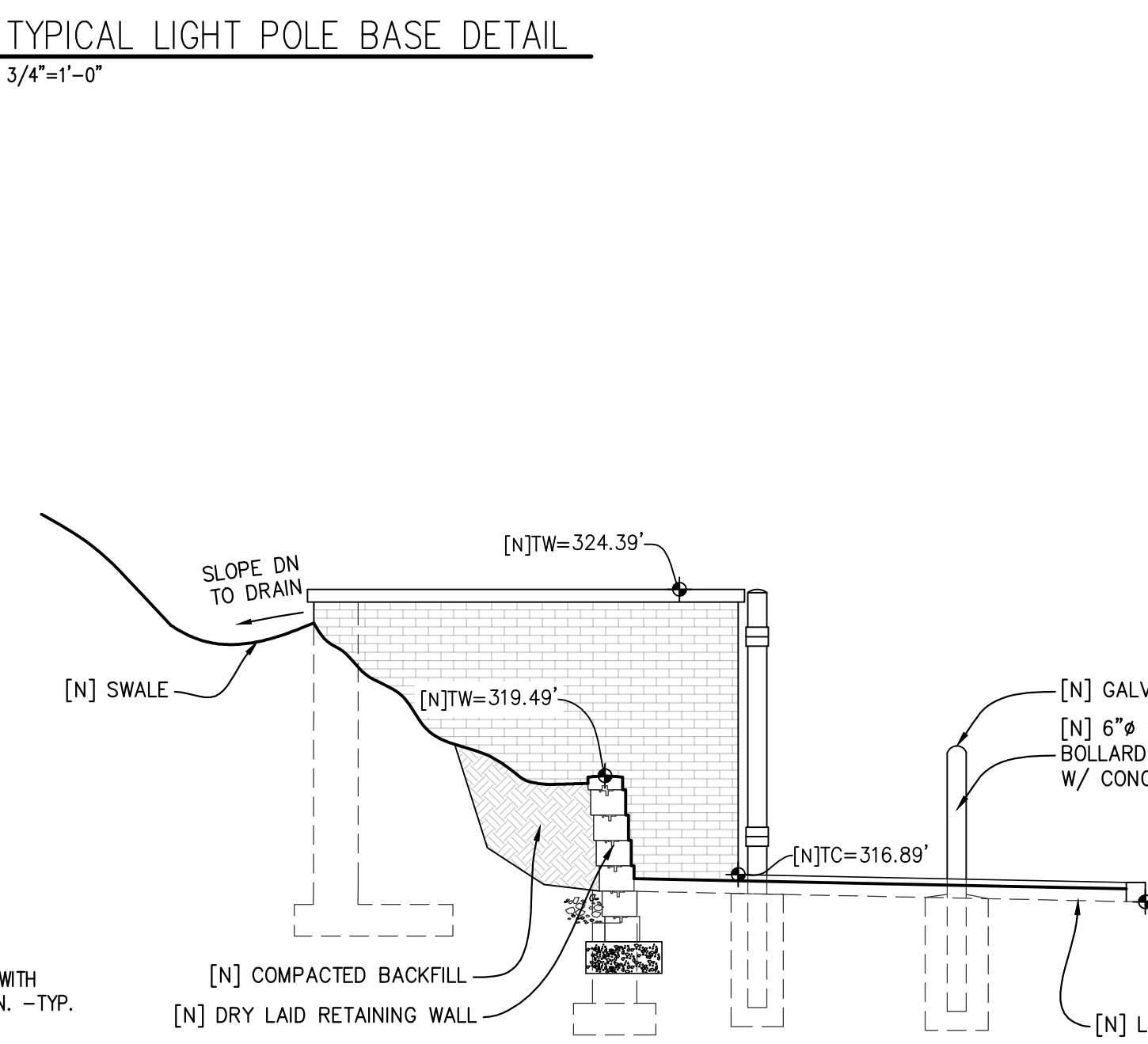
12 DROPPED CURB DETAIL
1/2" = 1'-0"



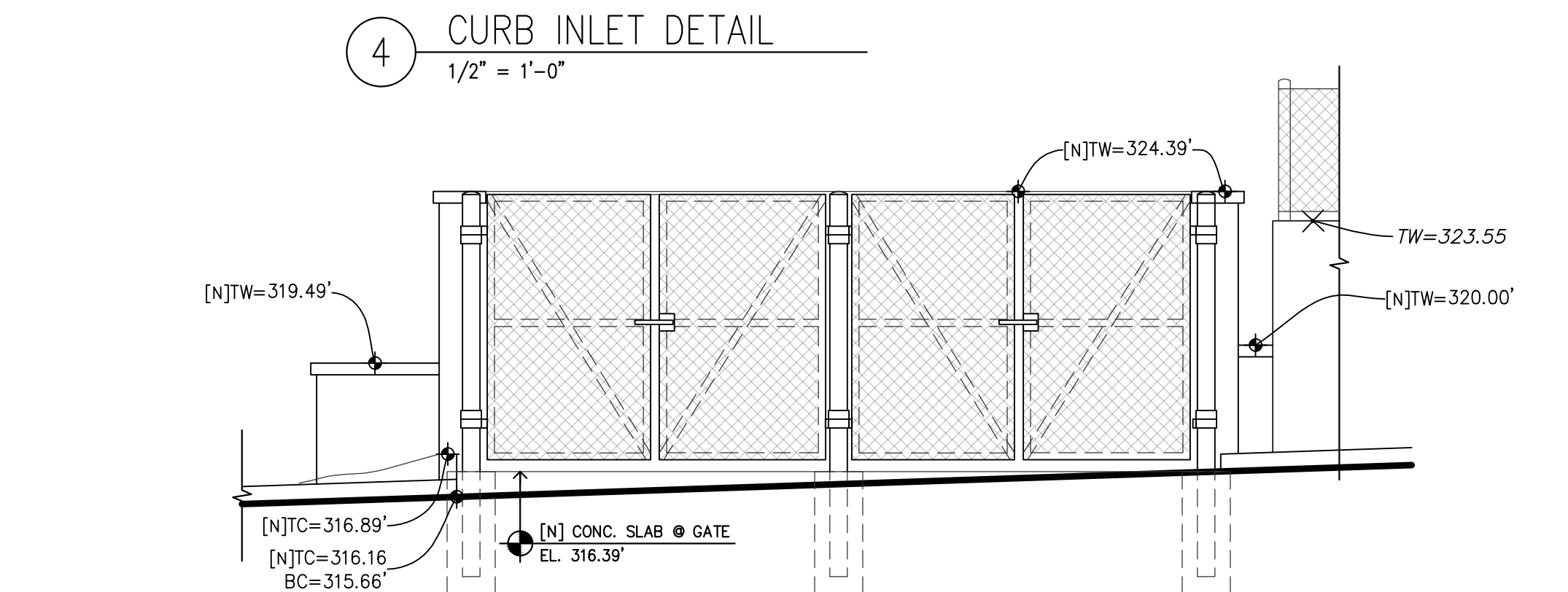
13 CURB DETAIL
1/2" = 1'-0"



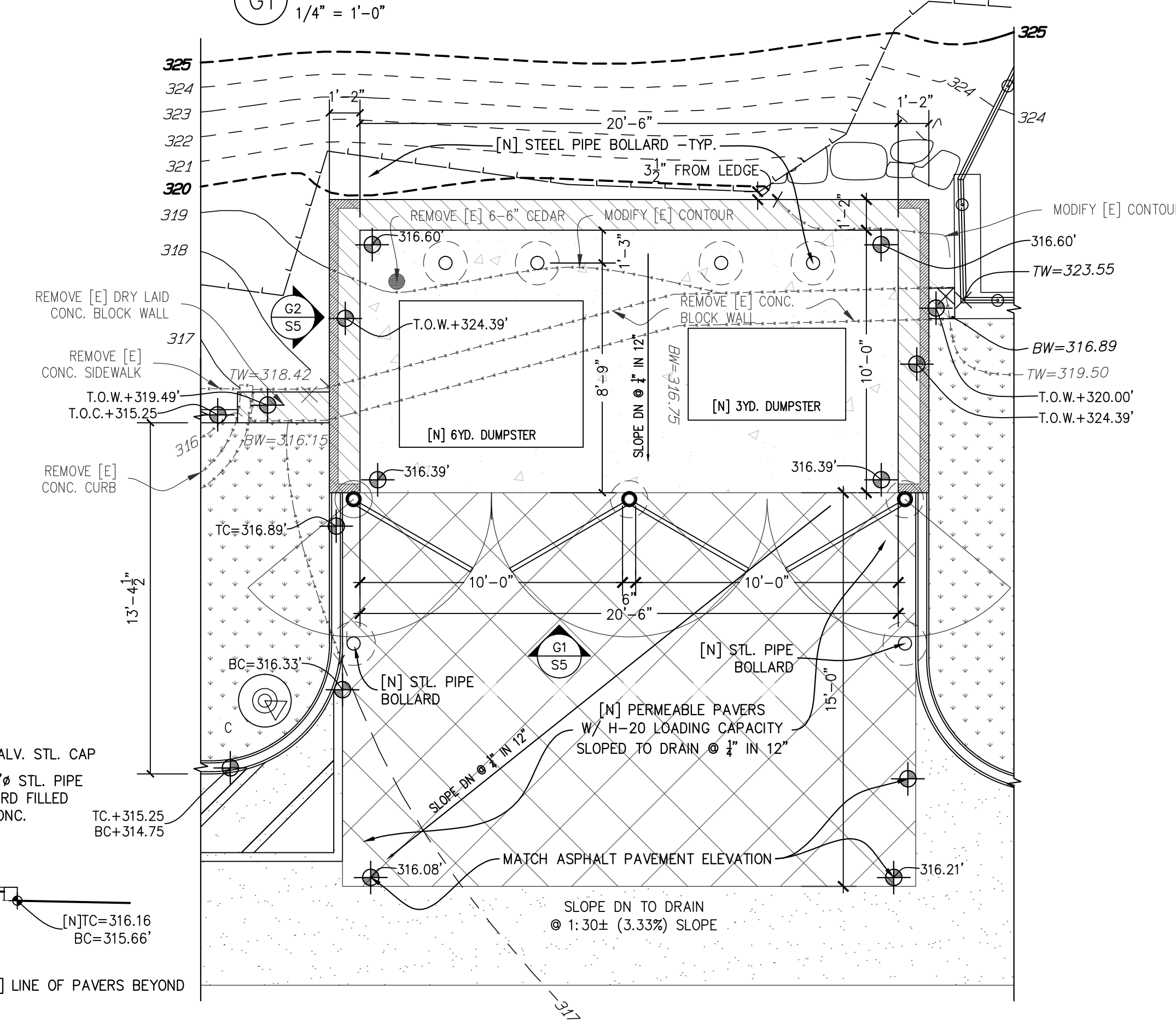
14 H-20 PERMEABLE PAVER CURB DETAIL
1/2" = 1'-0"



15 TYPICAL LIGHT POLE BASE DETAIL
1/4" = 1'-0"



G1 FRONT ELEVATION - DUMPSTER ENCLOSURE
1/4" = 1'-0"



G2 SIDE ELEVATION - DUMPSTER ENCLOSURE
1/4" = 1'-0"

16 ENLARGED PLAN OF DUMPSTER ENCLOSURE
1/4" = 1'-0"

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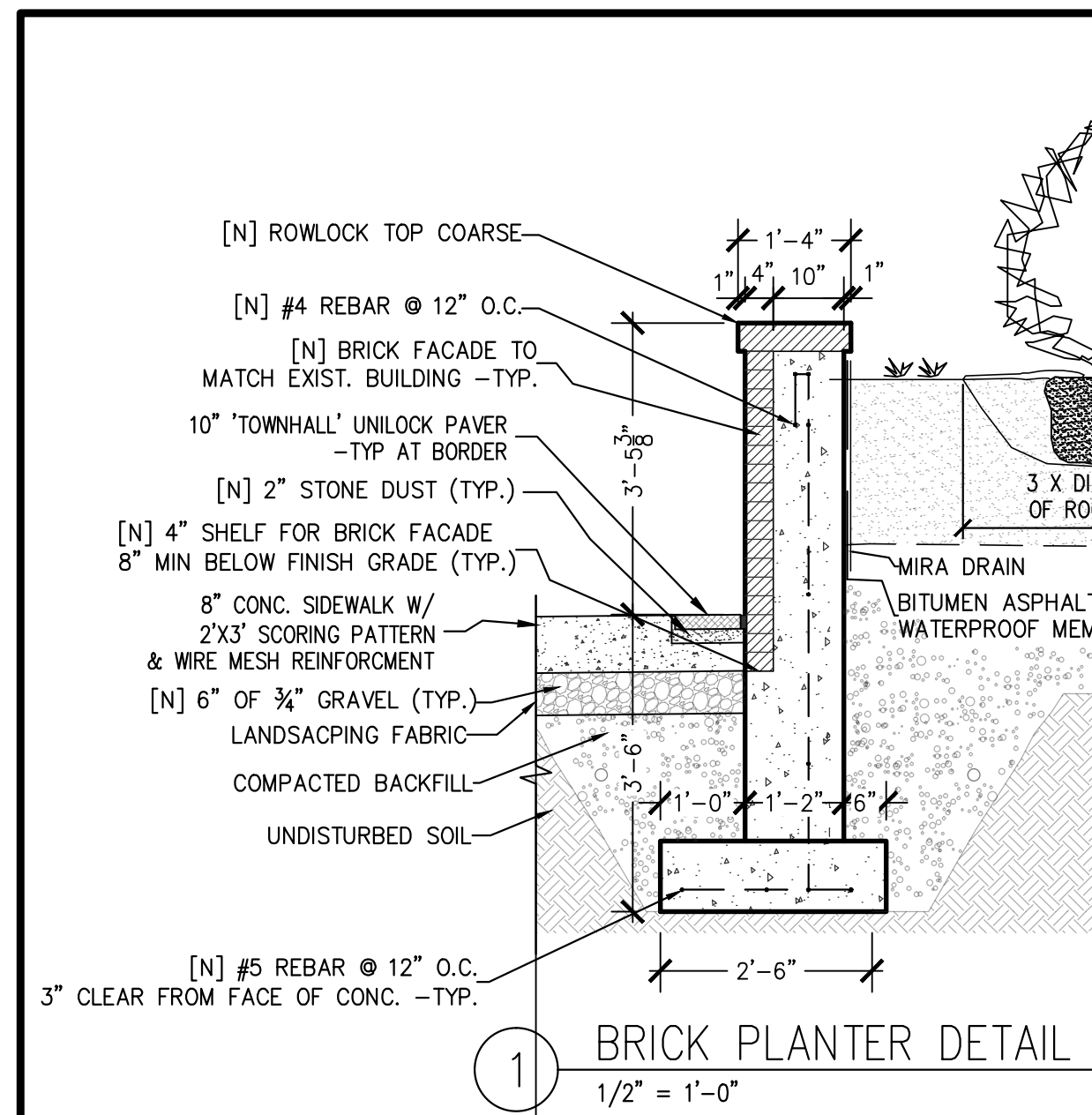
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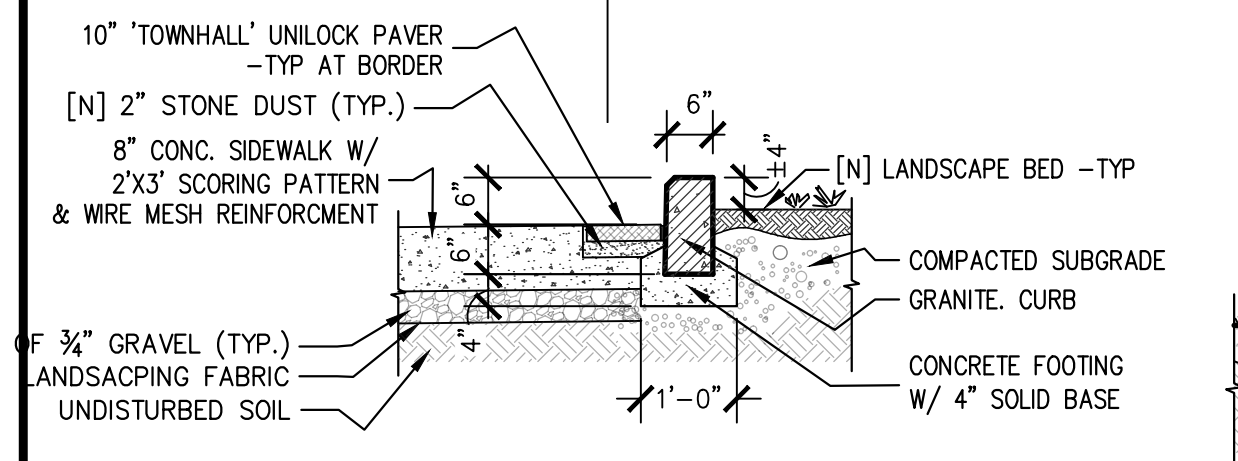
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175 EAST MAIN STREET MT.KISCO, NY, 10549
TAX MAP I.D.: 80.25-3-26 + 80.25-3-26.2

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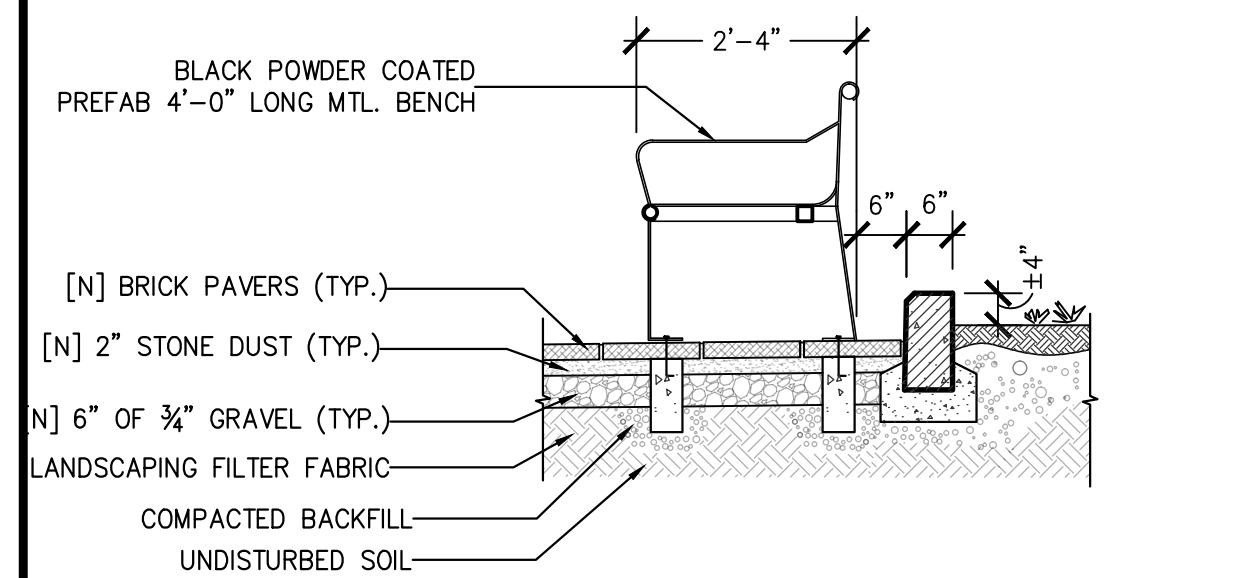
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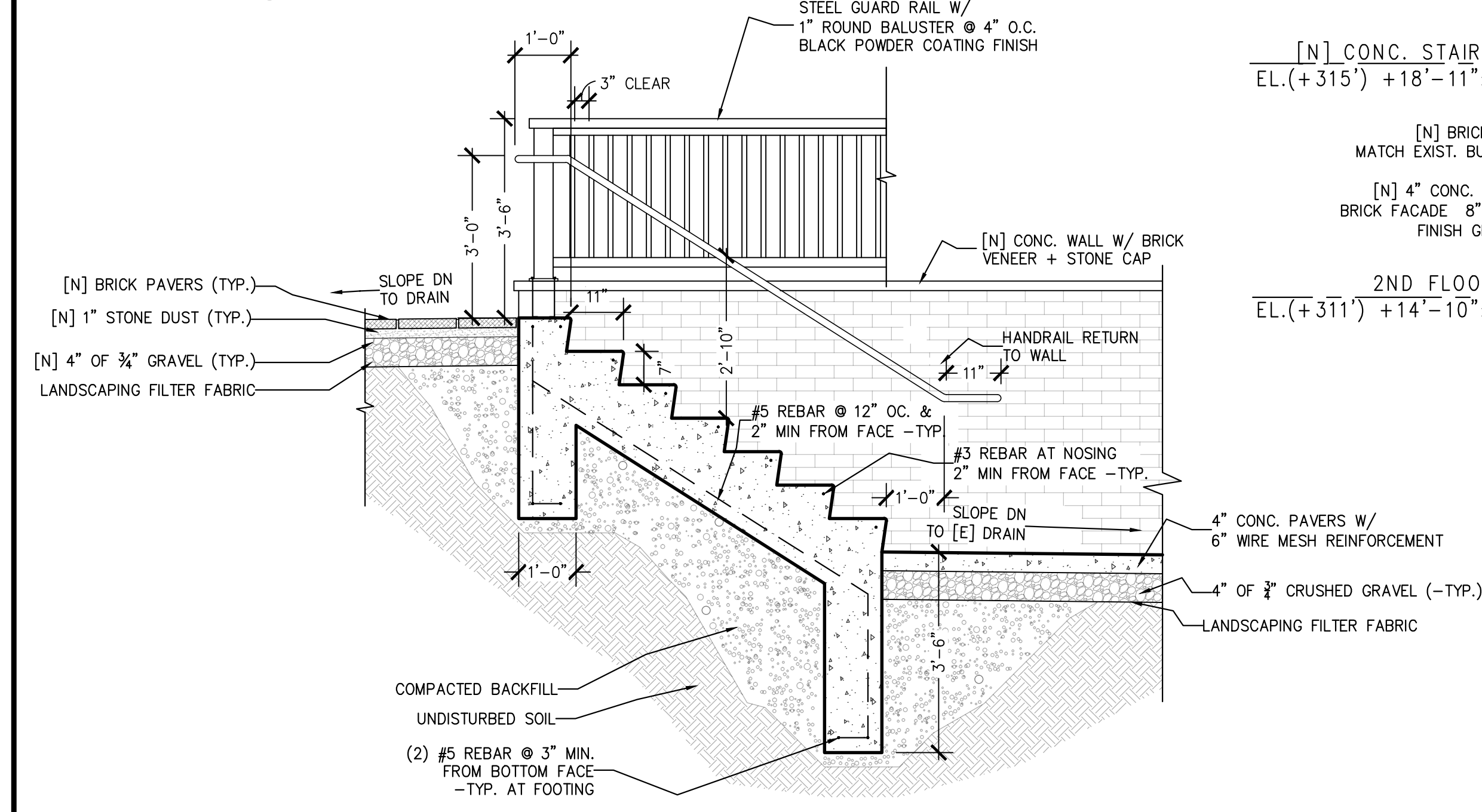
1 BRICK PLANTER DETAIL
1/2" = 1'-0"



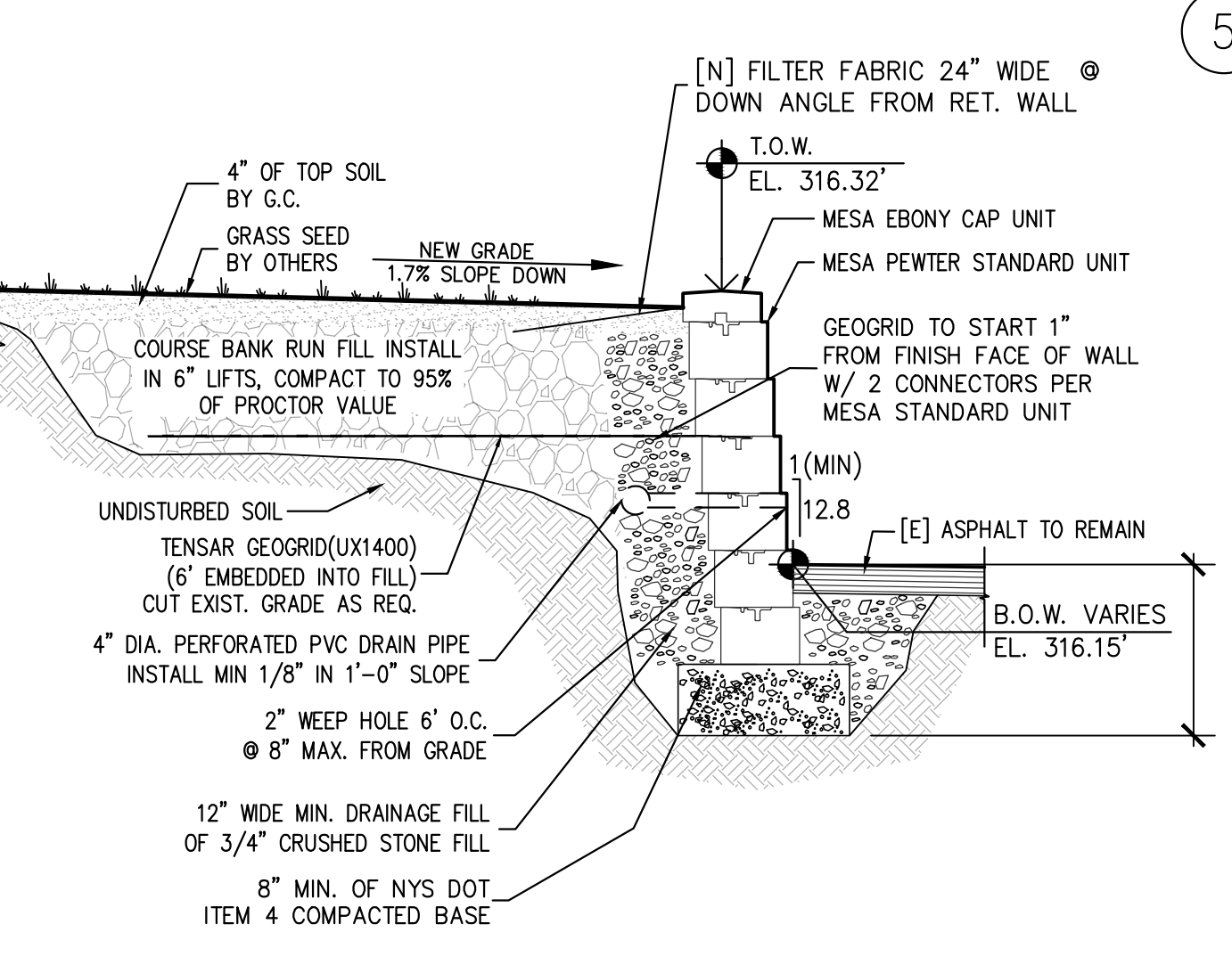
2 PEDESTRIAN WALKWAY/CURB DETAIL
1/2" = 1'-0"



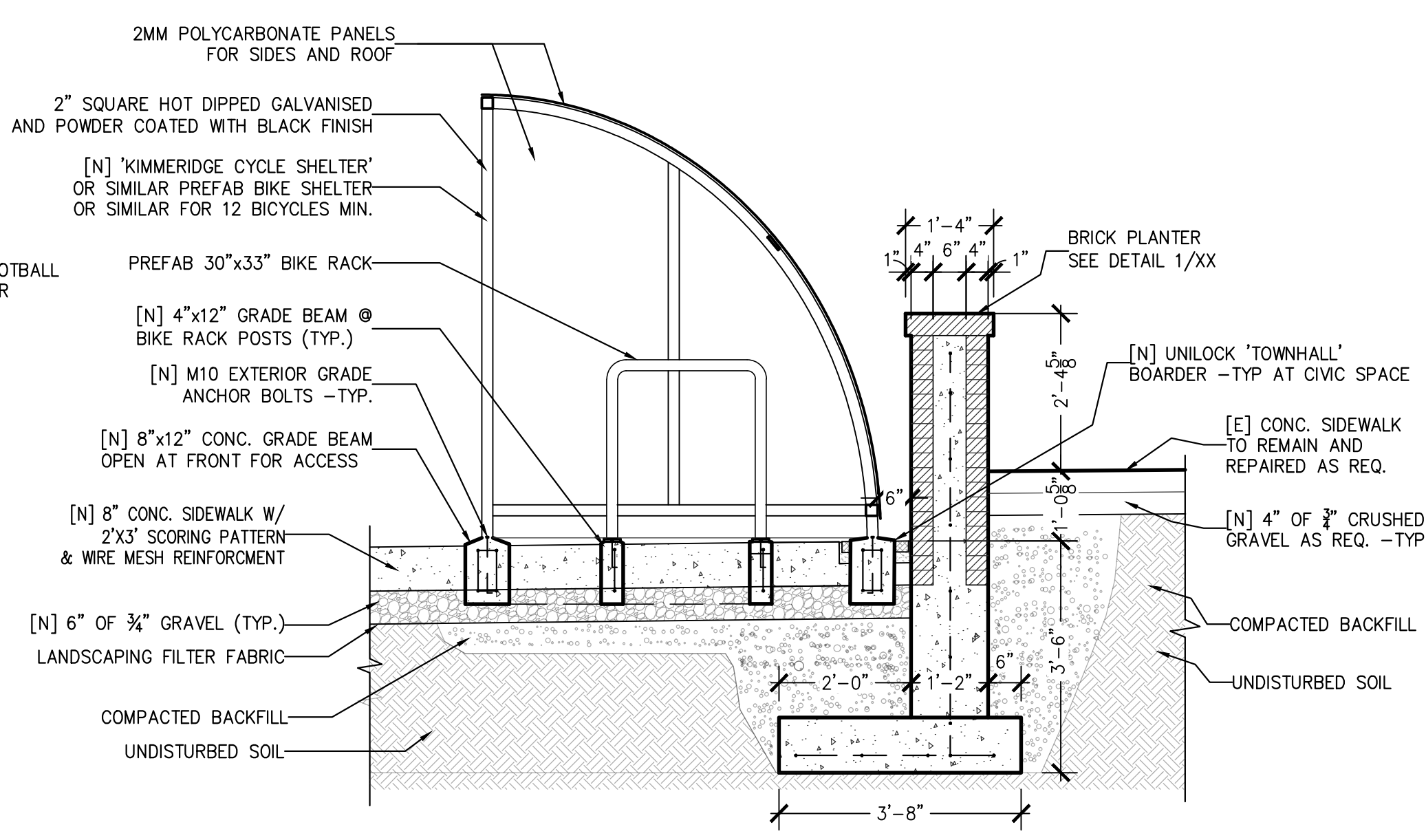
3 PUBLIC BENCH SECTION
1/2" = 1'-0"



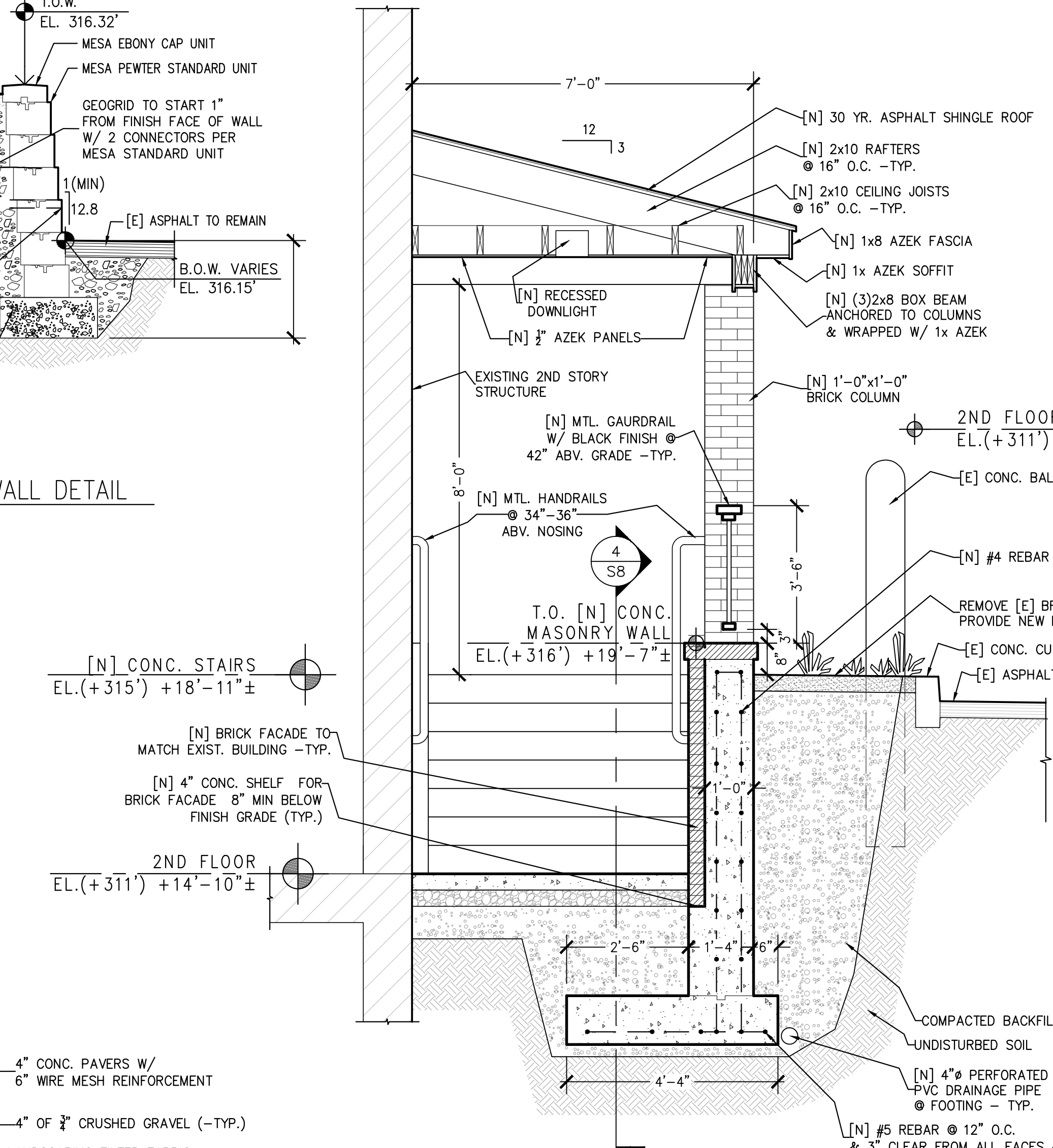
4 CONCRETE STAIR SECTION
1/2" = 1'-0"



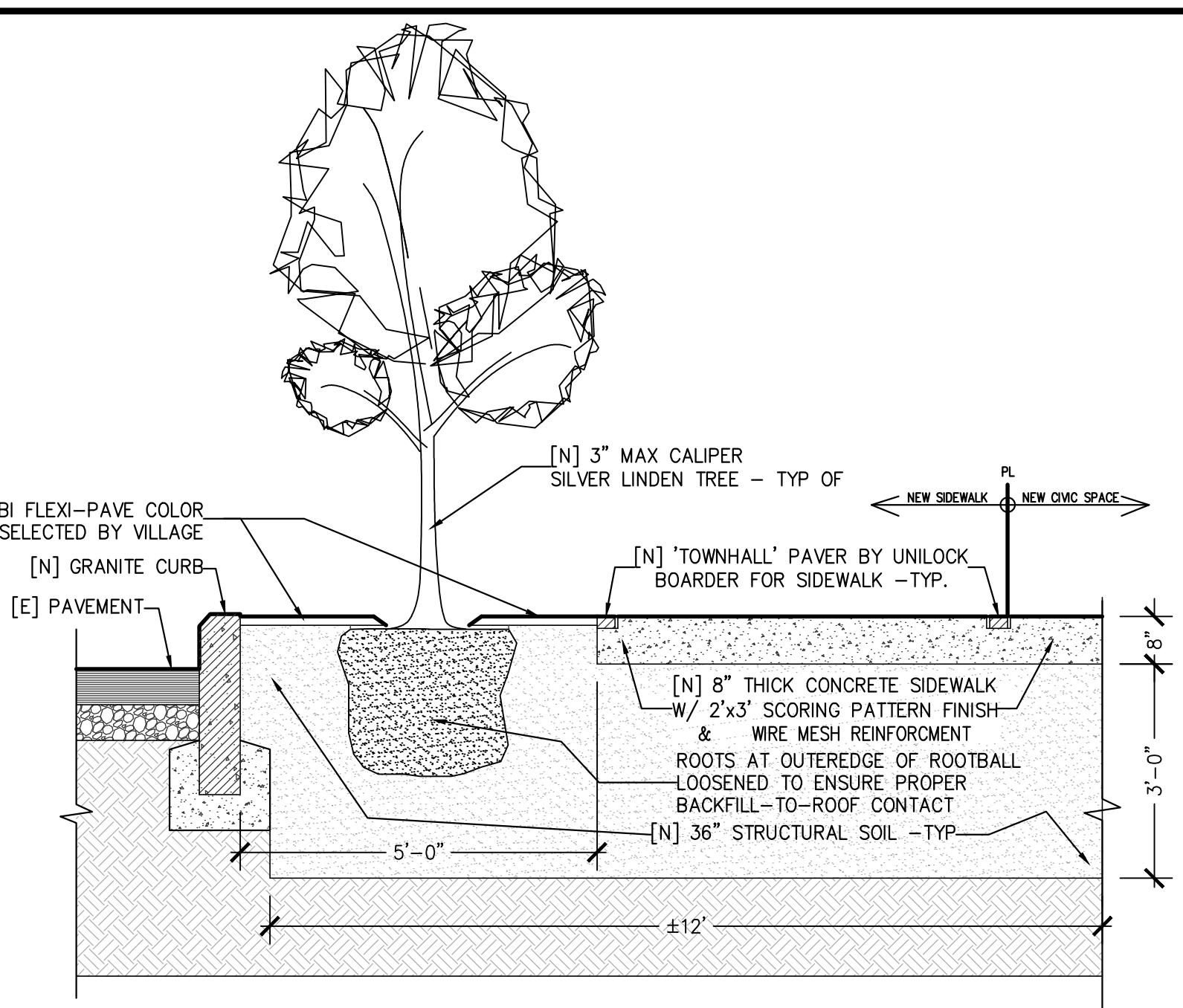
6 PROPOSED RETAINING WALL DETAIL
1/2" = 1'-0"



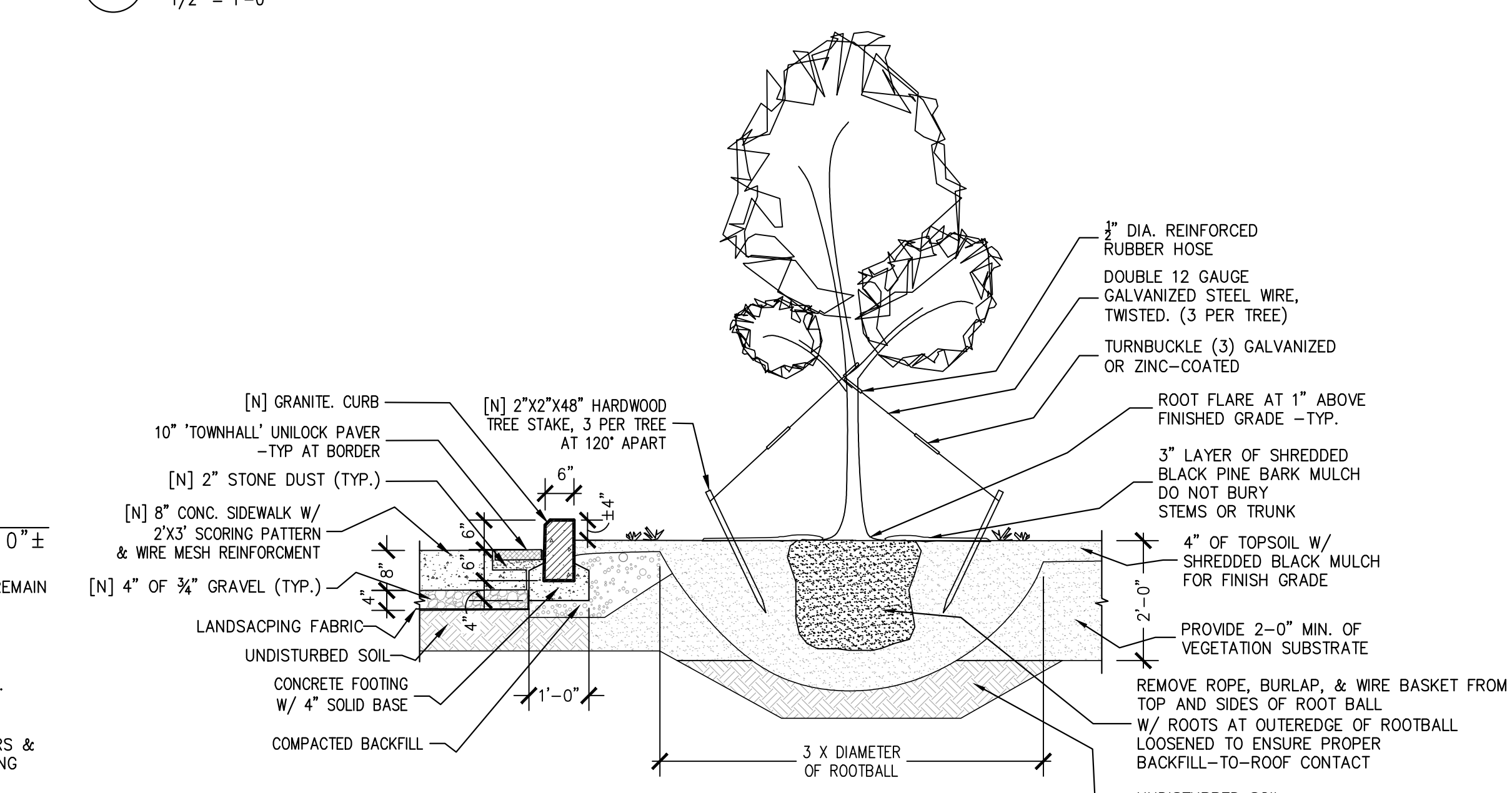
5 BIKE RACK SHELTER SECTION
1/2" = 1'-0"



7 NEW RETAINING WALL AT REAR STAIR ELEVATION
1/2" = 1'-0"



8 STREET TREE DETAIL
1/2" = 1'-0"



9 PEDESTRIAN WALKWAY/CURB DETAIL
1/2" = 1'-0"

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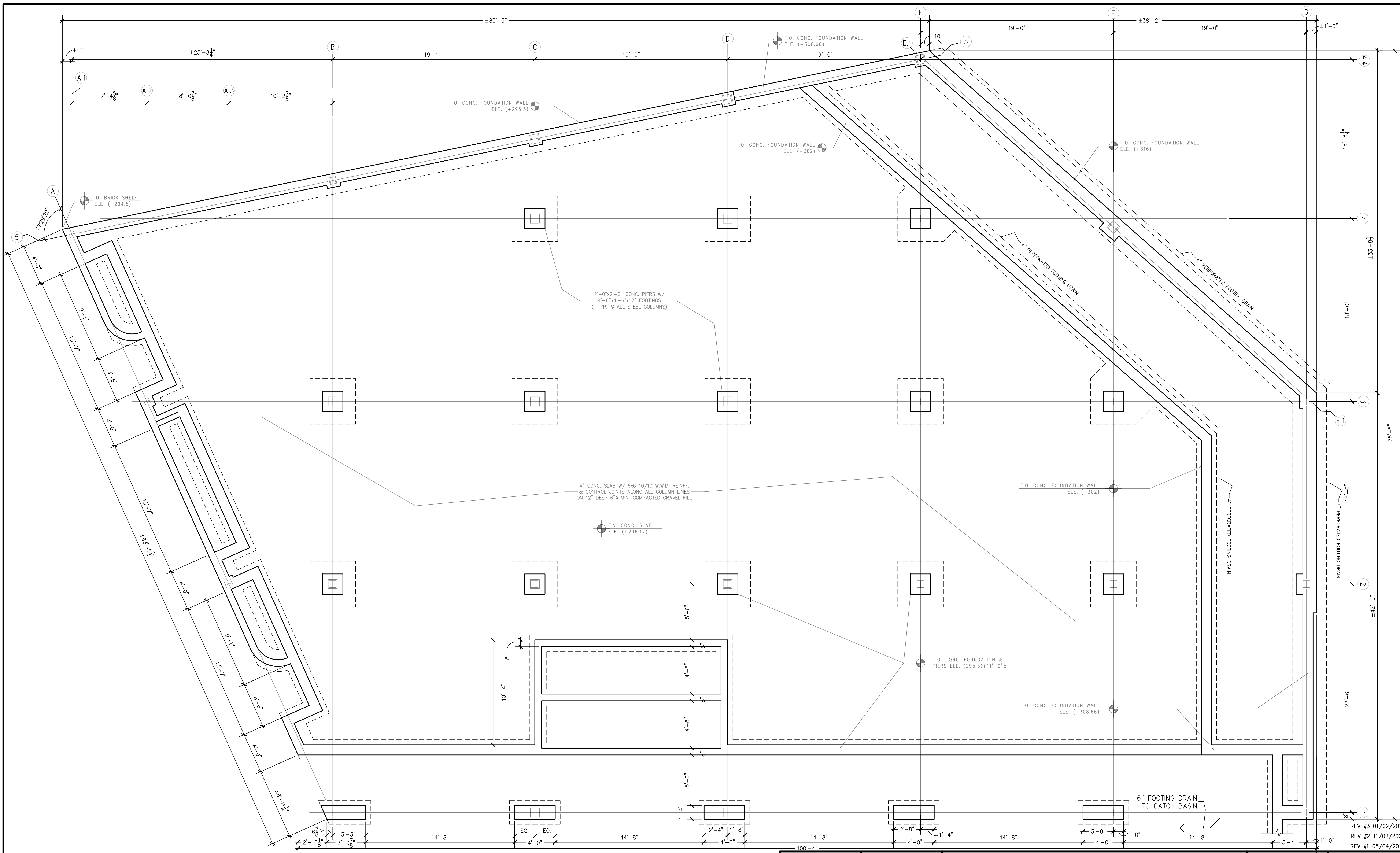
SITE DETAILS

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S8

175 EAST MAIN M.K. 2021-450



1 EXISTING FOUNDATION PLAN
1/4" = 1'-0"

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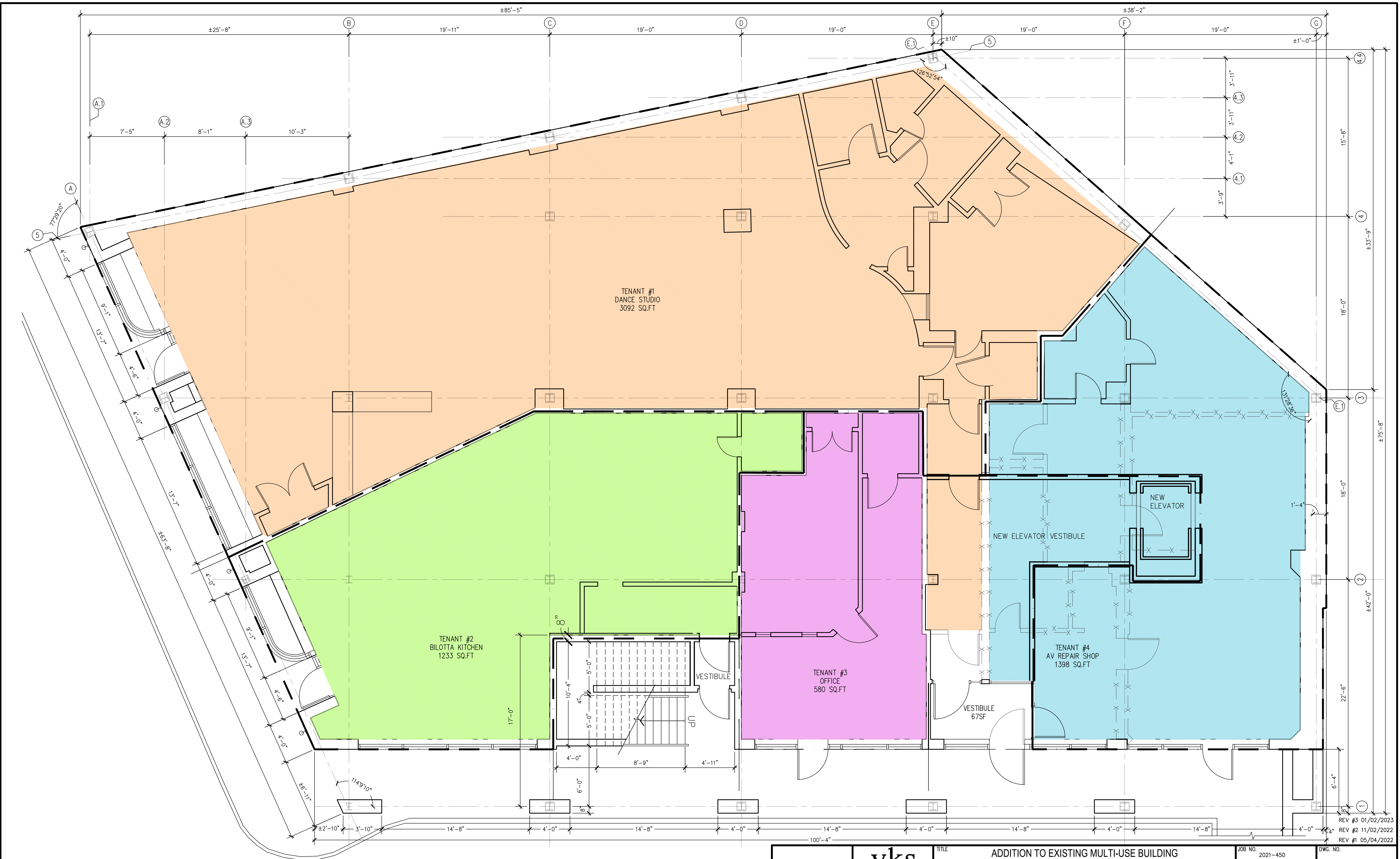
EXISTING FOUNDATION PLAN

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DRAWN / CHECKED BY	VKSA
JOB NAME	175 EAST MAIN

DWG. NO.
A1
10 OF 15

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175 EAST MAIN M.K.
2021-450



1 FIRST FLOOR PLAN
1/4" = 1'-0"

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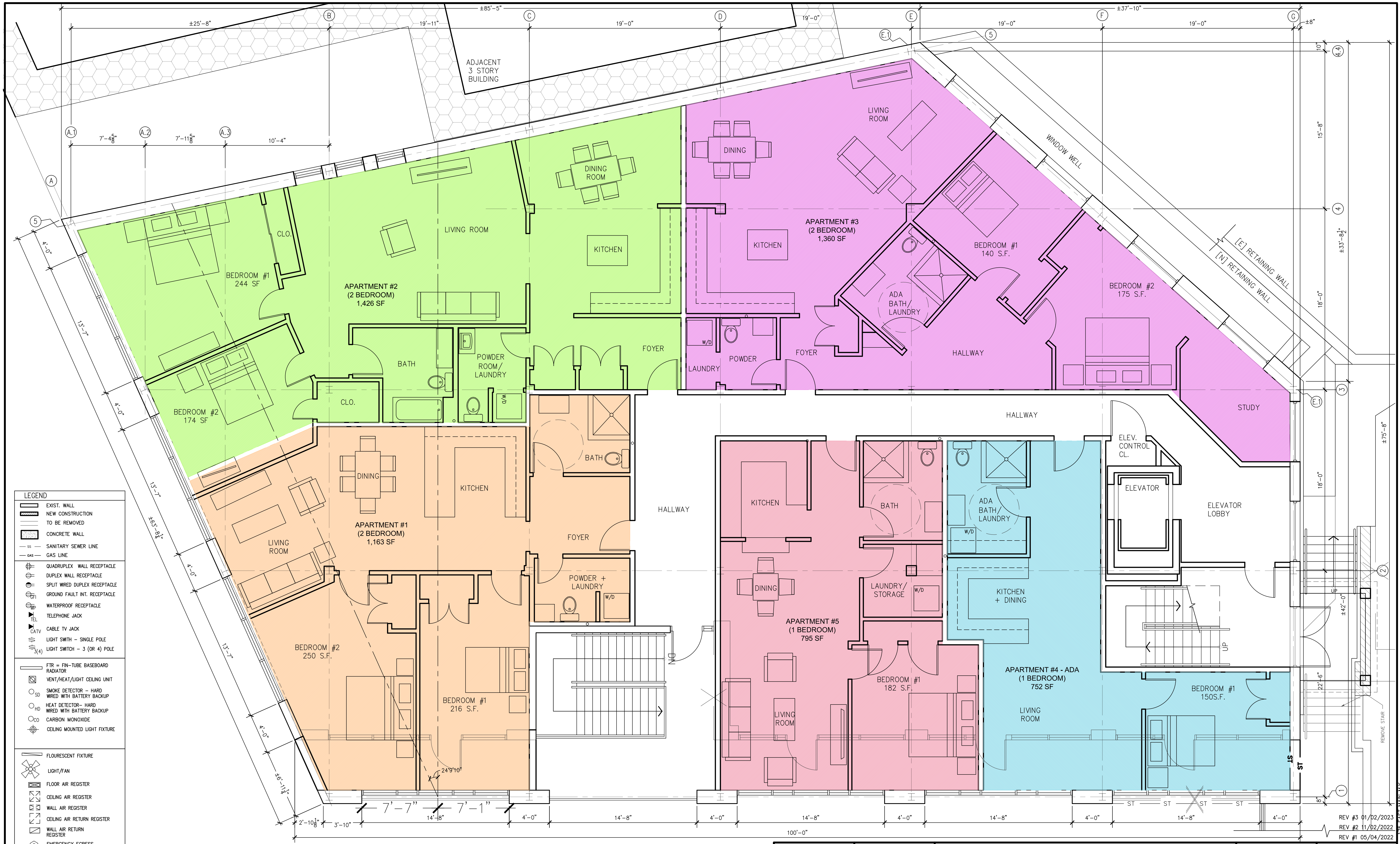
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ADDITION TO EXISTING MULTI-USE BUILDING
FOR 175 MAIN ST OF MOUNT KISCO LLC
175 EAST MAIN STREET MT.KISCO, NY, 10549
TAX MAP I.D.: 80.25-3-26 + 80.25-3-26.2
PROPOSED 1ST FLOOR PLAN
(EXISTING TENANT LAYOUT)

JOB NO.	2021-450	DWG. NO.	
DATE	01/11/2022		
SCALE	AS NOTED		
DRAWN /CHECKED BY	VKSA		
JOB NAME	175 EAST MAIN		

A2

REV #3 01/02/2023
REV #2 11/02/2022
REV #1 05/04/2022

175 EAST MAIN M.K.
2021-450



1 PROPOSED SECOND FLOOR PLAN
1/4" = 1'-0"

NOTE:
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Katonah, NY 10536
914-232-9828
Fax: 914-232-9839
vks@vks.com

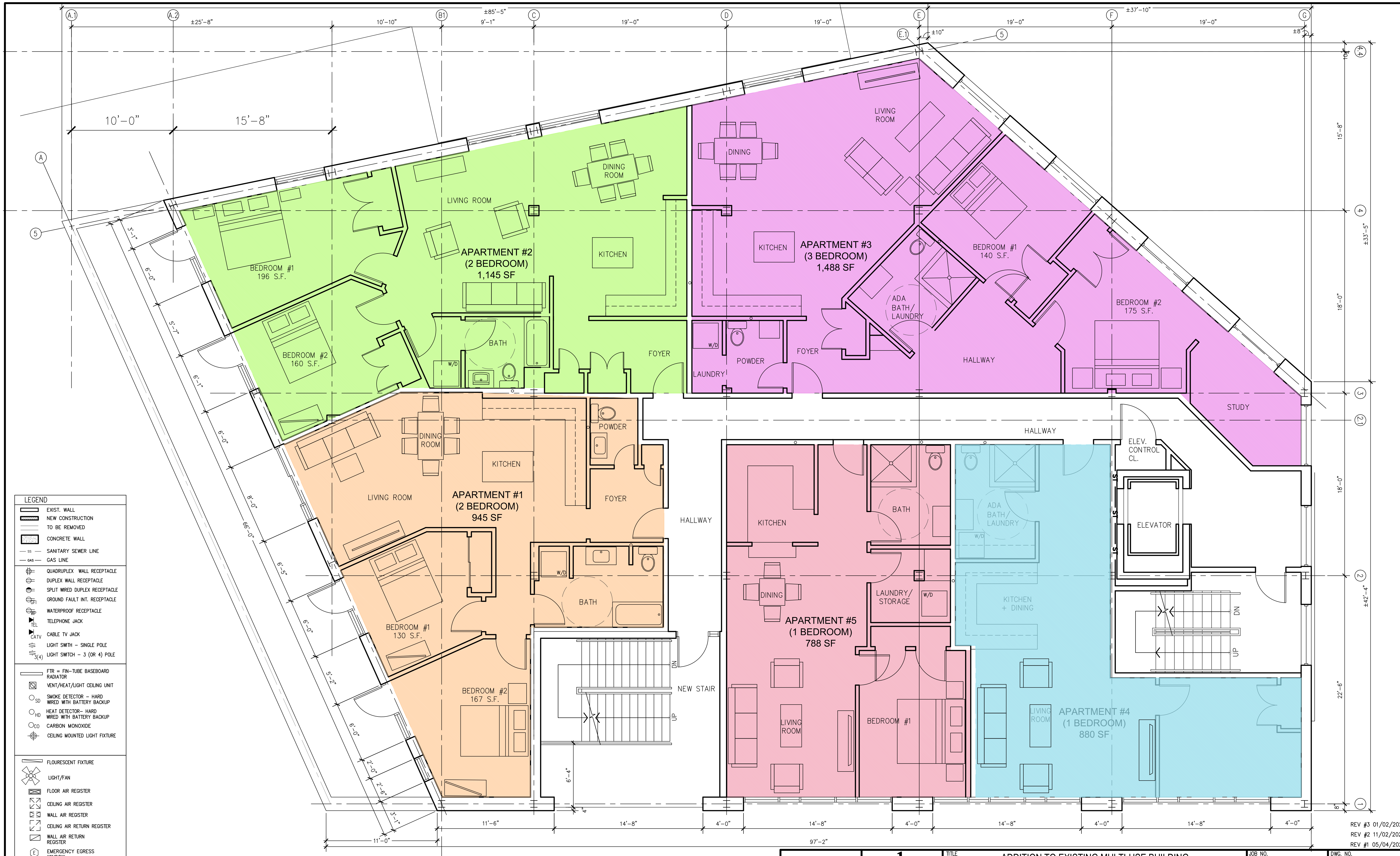
TITLE
ADDITION TO EXISTING MULTI-USE BUILDING
FOR 175 MAIN ST OF MOUNT KISCO LLC
175 EAST MAIN STREET MT.KISCO, NY, 10549
TAX MAP I.D.: 80.25-3-26 + 80.25-3-26.2
PROPOSED 2ND FLOOR PLAN & LEGEND

JOB NO.	2021-450
DATE	01/11/2022
SCALE	AS NOTED
DRAWN /CHECKED BY	VKSA
JOB NAME	175 EAST MAIN

DWG. NO.	A3
12 OF 15	

REV #3 01/02/2023
REV #2 11/02/2022
REV #1 05/04/2022

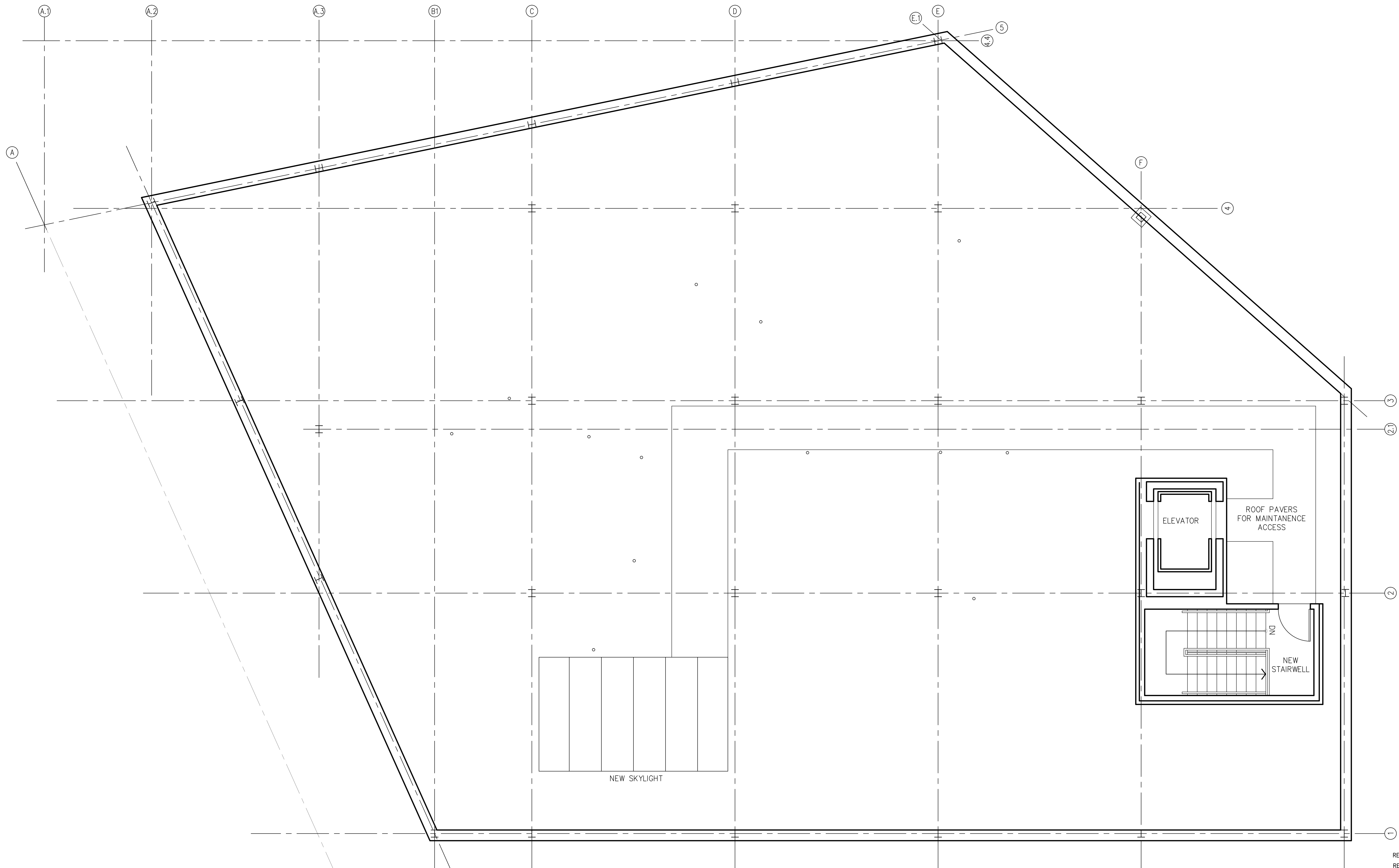
175 EAST MAIN.MX



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175 EAST MAIN STREET MT.KISCO, NY, 10549
TAX MAP I.D.: 80.25-3-26 + 80.25-3-26.2
PROPOSED 3RD FLOOR PLAN & LEGEND

JOB NO.	2021-450	DWG. NO.	A4
DATE	01/11/2022		
SCALE	AS NOTED		
DRAWN /CHECKED BY	VKSA		
JOB NAME	175 EAST MAIN		
			13 OF 15



1 PROPOSED ROOF PLAN
1/4" = 1'-0"

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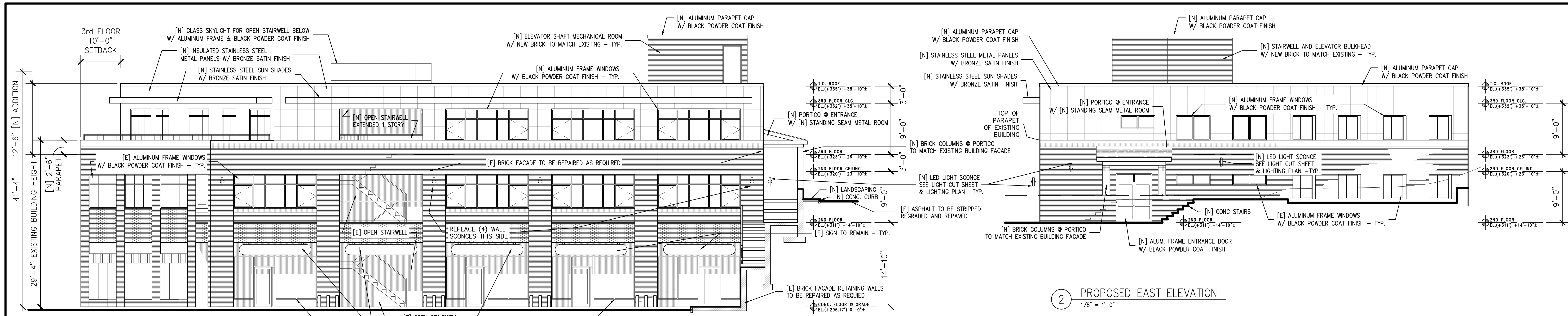
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ADDITION TO EXISTING MULTI-USE BUILDING
FOR 175 MAIN ST OF MOUNT KISCO LLC
175 EAST MAIN STREET MT.KISCO, NY, 10549
TAX MAP I.D.: 80.25-3-26 + 80.25-3-26.2
PROPOSED ROOF PLANS

JOB NO.	2021-450
DATE	01/11/2022
SCALE	AS NOTED
DRAWN /CHECKED BY	VKSA
JOB NAME	175 EAST MAIN

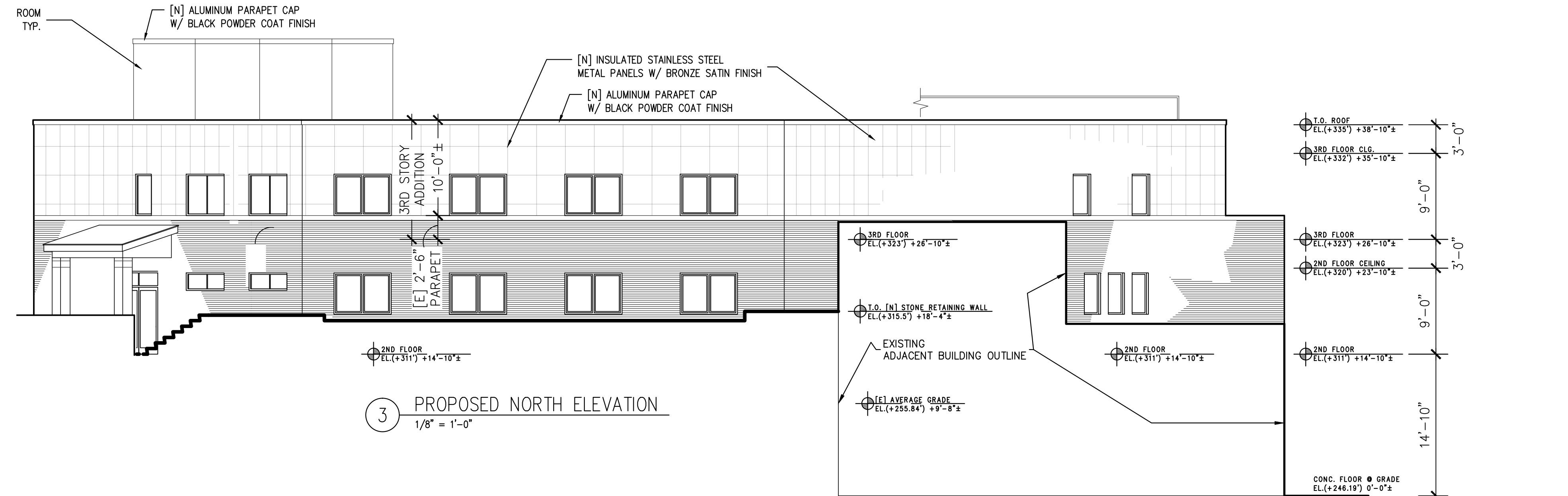
DWG. NO.
A5
14 OF 15

REV #3 01/02/2023
REV #2 11/02/2022
REV #1 05/04/2022

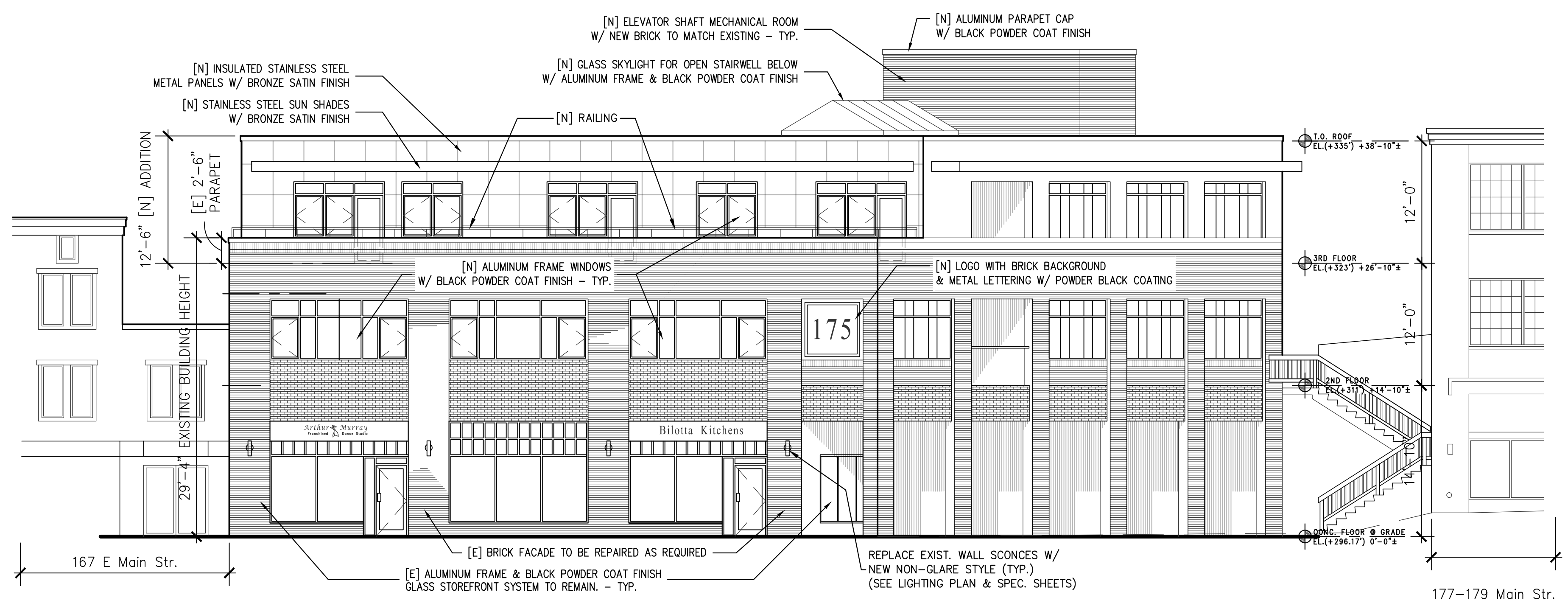


1 PROPOSED SOUTH ELEVATION
1/8" = 1'-0"

2 PROPOSED EAST ELEVATION
1/8" = 1'-0"



3 PROPOSED NORTH ELEVATION
1/8" = 1'-0"



1 PROPOSED WEST ELEVATION - MAIN STREET
1/8" = 1'-0"

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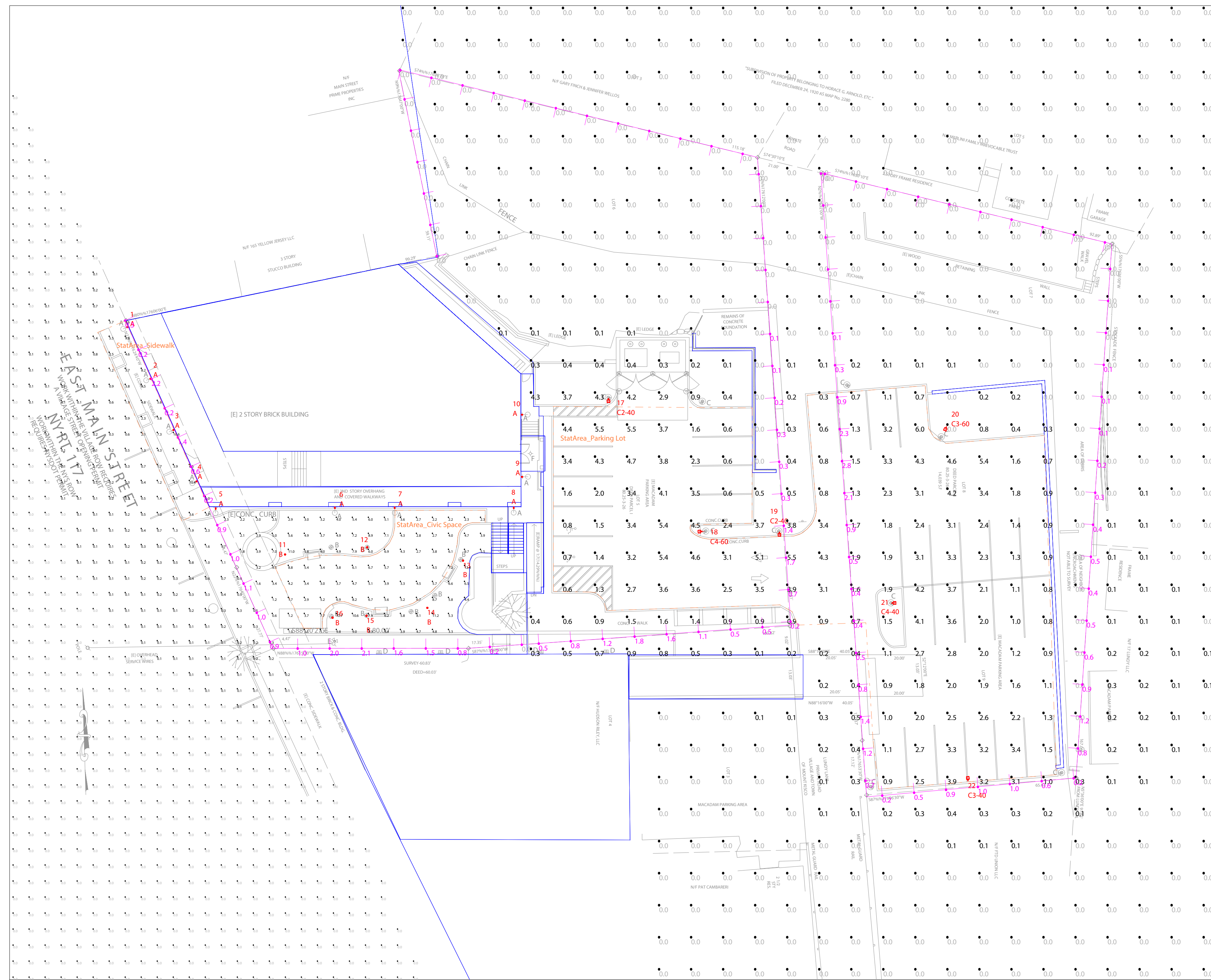
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FOR 175 MAIN ST OF MOUNT KISCO LLC
175 EAST MAIN STREET MT. KISCO, NY, 10549
TAX MAP I.D.: 80.25-3-26 + 80.25-3-26.2
PROPOSED EXTERIOR
ELEVATIONS

JOB NO.	2021-450	DWG. NO.	A6
DATE	01/11/2022		
SCALE	AS NOTED		
DRAWN /CHECKED BY	VKSA		
JOB NAME	175 EAST MAIN	15 OF 15	

REV #3 01/02/2023
REV #2 11/02/2022
REV #1 05/04/2022



Scale: 1 inch = 20 Ft.

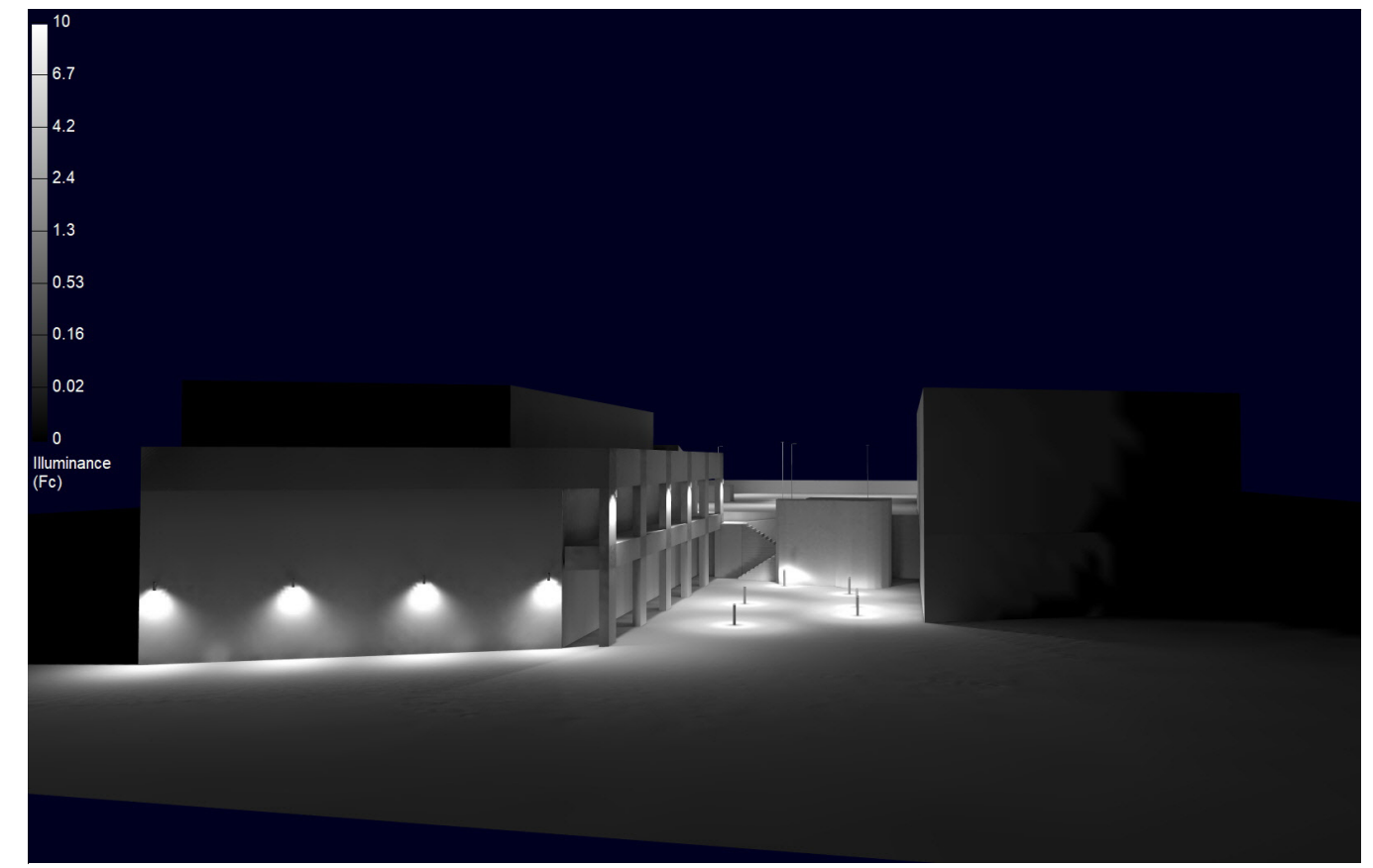
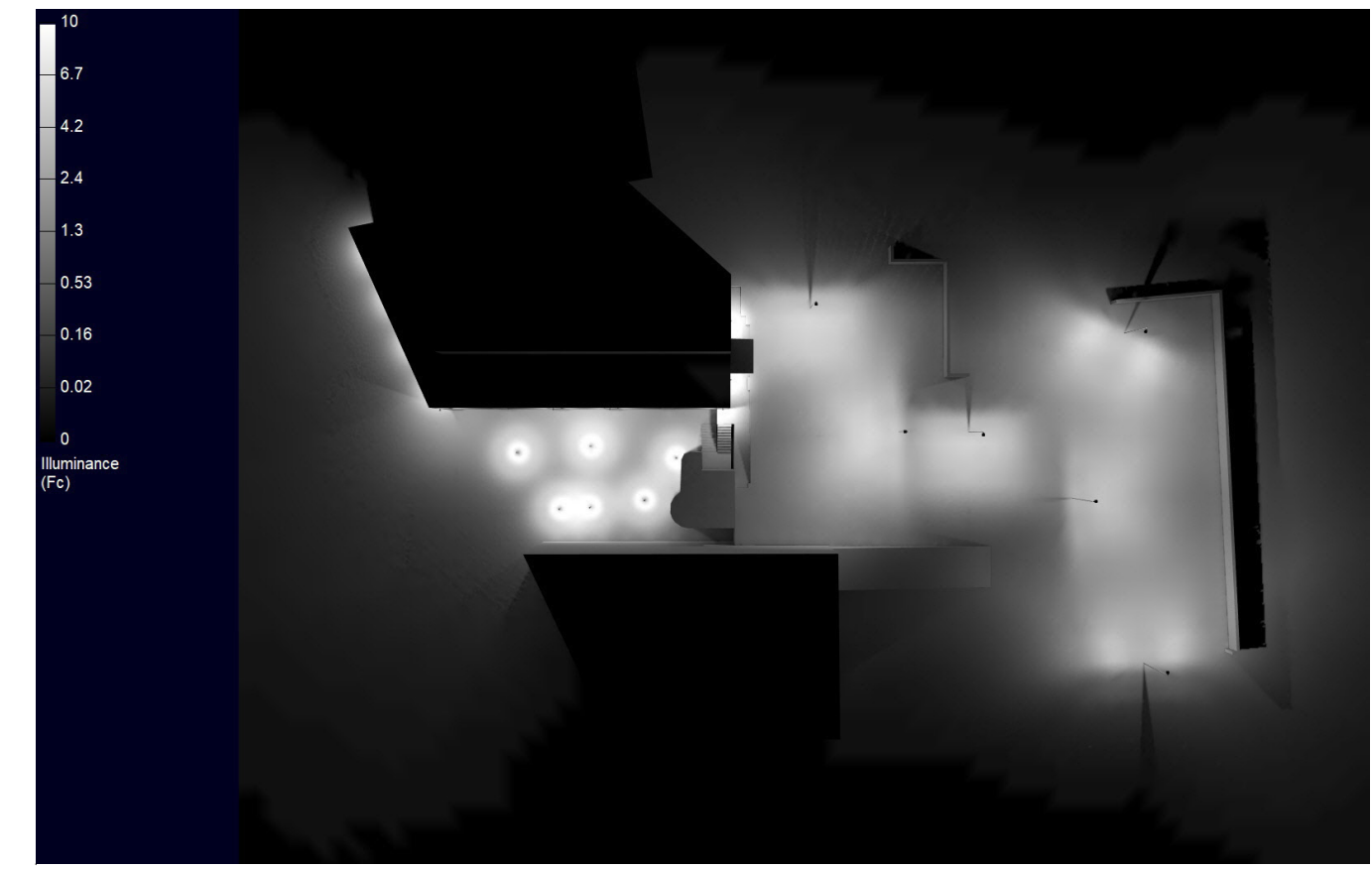
Expanded Luminaire Location Summary					
Tag	X	Y	MTG HT	Orient	Tilt
A	1659.903	63.348	10	203.982	0
A	1667.12	47.26	10	211.089	0
A	1674.292	31.26	10	203.982	0
A	1681.487	15.216	10	203.982	0
A	1687.521	6.662	22	270	0
A	1724.764	6.901	22	270	0
A	1743.431	6.932	22	270	0
A	1780.588	6.901	22	270	0
A	1783.257	16.65	22	0	0
A	1783.257	36.053	22	0	0
B	1709.2	-7.6	3.5	295.71	0
B	1734.821	-5.376	3.5	269.244	0
B	1764.763	-9.507	3.5	147.052	0
B	1753.617	-24.263	3.5	128.961	0
B	1734.628	-26.721	3.5	86.633	0
B	1724.028	-27.321	3.5	112.638	0
C2-40	1810.155	40.252	32.83	270	0
C4-60	1838.527	-0.469	32.83	183.295	0
C2-40	1863.521	-1.476	32.83	270.002	0
C3-60	1915.293	31.438	32.83	245.391	0
C4-40	1899.476	-22.723	32.83	2.804	0
C3-40	1922.327	-77.327	32.83	92.74	0
Total Quantity: 22					

NOTES:

- * The light loss factor (LLF) is a product of many variables. RAB's standard is to use the initial 1.0 LLF in accordance with most municipal lighting ordinance light trespass requirements, unless otherwise noted.
- * Illumination values shown (in footcandles) are the predicted results for planes of calculation either horizontal, vertical or inclined as designated in the calculation summary. Meter orientation is normal to the plane of calculation.
- * The calculated results of this lighting simulation represent an anticipated prediction of system performance. Actual measured results may vary from the anticipated performance and are subject to means and methods which are beyond the control of RAB Lighting Inc.
- * Mounting height determination is job site specific, our lighting simulations assume a mounting height (insertion point of the luminaire symbol) to be taken at the top of the symbol for ceiling mounted luminaires and at the bottom of the symbol for all other luminaire mounting configurations.
- * RAB disclaims all responsibility for the suitability of existing or proposed poles and bases to support proposed fixtures. This is the owner's, installer's and/or end-user's responsibility based on the weight and effective projected area ("EPA") of the proposed fixtures and the owner's site and soil conditions, wind zone, and many other factors. A professional engineer licensed to practice in the state the site is located should be engaged to assist in this determination.
- * The landscape material shown hereon is conceptual and is not intended to be an accurate representation of any particular plant, shrub, bush, or tree, as these materials are living objects, and subject to constant change. The conceptual objects shown are for illustrative purposes only. The actual illumination values measured in the field will vary.
- * Photometric model elements such as buildings, rooms, plants, furnishings or any architectural details which impact the dispersion of light must be detailed by the customer documents for inclusion in the RAB Lighting Design. The owner/contractor/customer/end-user must provide accurate and complete construction drawings that reflect what will be the final construction RAB is not responsible for any inaccuracies caused by incomplete, inaccurate, or outdated information provided by the owner/contractor/customer/end-user.
- * RAB Lighting Inc. luminaire and product designs are protected under U.S. and International intellectual property laws. Patents issued or pending may apply. Please see www.rablighting.com/p.
- * The Lighting Analysis, E2Layout, Energy Analysis and/or Visual Simulation ("Lighting Design") provided by RAB Lighting Inc. ("RAB") represents an anticipated prediction of lighting system performance based upon design parameters and information supplied by others. These design parameters and information provided by others have not been field verified by RAB and therefore actual measured results may vary from the actual field conditions. RAB recommends that design parameters and other information be field verified to reduce variation.
- * RAB does not warranty, either implied or stated, actual measured light levels or energy consumption levels as compared to those illustrated by the Lighting Design.
- * RAB does not warranty, either implied or stated, nor represents the appropriateness, completeness or suitability of the Lighting Design as compliant with any applicable regulatory code requirements with the exception of those expressly stated on drawings created and submitted by RAB. The Lighting Design is issued, in whole or in part, as advisory documents for informational and convenience purposes only, is not intended for construction nor as a part of a project's construction documentation package and should not be relied upon for any purpose.
- * Immediately prior to any party ordering RAB products used in the Lighting Design, the ordering party must verify that the lumen output of the fixtures being ordered (as shown on RAB's website) match the lumen output shown in the Lighting Design. Occasionally, Lighting Designs previously prepared use fixtures that are then updated prior to an order and such updates could change the lumen output of the fixture. This in turn, could impact the installed lighting performance that differs from the Lighting Design.

Calculation Summary											
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	Description	PtSpCr	PtSpTb	Meter Type
CalcPts_Courtyard	Illuminance	Fc	5.02	12.7	0.6	8.37	21.17	Readings taken at 0'-0" AFG	5	5	Horizontal
CalcPts_Lundy Lane	Illuminance	Fc	0.51	6.0	0.0	N.A.	N.A.	Readings taken at 0'-0" AFG	10	10	Horizontal
CalcPts_Main Street	Illuminance	Fc	0.21	10.6	0.0	N.A.	N.A.	Readings taken at 0'-0" AFG	5	5	Horizontal
CalcPts_Property Line 1	Illuminance	Fc	0.32	1.8	0.0	N.A.	N.A.	Readings taken at 5'-0" AFG	10	N.A.	Vert-PerpCCW
CalcPts_Property Line 2	Illuminance	Fc	0.49	2.8	0.0	N.A.	N.A.	Readings taken at 5'-0" AFG	10	N.A.	Vert-PerpCCW
CalcPts_Property Line 3	Illuminance	Fc	0.96	2.2	0.0	N.A.	N.A.	Readings taken at 5'-0" AFG	10	N.A.	Vert-PerpCCW
StatArea_Civic Space	Illuminance	Fc	4.58	8.8	2.2	2.08	4.00	Readings taken at 0'-0" AFG			
StatArea_Parking Lot	Illuminance	Fc	2.39	6.0	0.4	5.98	15.00	Readings taken at 0'-0" AFG			
StatArea_Sidewalk	Illuminance	Fc	5.70	10.6	1.7	3.35	6.24	Readings taken at 0'-0" AFG			

Luminaire Schedule												
All quotes/orders generated from this layout must be forwarded to the Local Rep Agency												
SYM	Qty	Tag	Label	ARR	Lum. Lumens	Arr. Lum. Lumens	LLF	Description	Lum. Watts	Arr. Watts	Total Watts	BUG Rating
10	A		CDLED4WD-20W-80D940-K	Single	1808	1808	1.000	WALL MOUNT	19.8	19.8	198	B1-U0-G0
6	B		BLED24N	Single	2577	2577	1.000	BOLLARD	23.3	23.3	139.8	B2-U3-G2
2	C2-40		ALED52TN @ 40w	Single	5746	5746	1.000	ALED52TN	40.6	40.6	81.2	B2-U0-G1
1	C3-40		ALED53TN @ 40w	Single	5650	5650	1.000	ALED53TN	40.5	40.5	40.5	B1-U0-G1
1	C3-60		ALED53TN @ 60w	Single	7778	7778	1.000	POLE MOUNT	57.5	57.5	57.5	B1-U0-G2
1	C4-40		ALED54TN @ 40w	Single	5735	5735	1.000	ALED54TN	40.9	40.9	40.9	B1-U0-G2
1	C4-60		ALED54TN @ 60w	Single	7895	7895	1.000	POLE MOUNT	58.1	58.1	58.1	B1-U0-G2



The Lighting Analysis, E2Layout, Energy Analysis and/or Visual Simulation ("Lighting Design") provided by RAB Lighting Inc. ("RAB") represents an anticipated prediction of lighting system performance based upon design parameters and information supplied by others. These design parameters and information provided by others have not been field verified by RAB and therefore actual measured results may vary from the actual field conditions. RAB recommends that design parameters and other information be field verified to reduce variation.

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PROJECT #201484
 Scale: as noted
 Date: 11/4/2022
 CASE #965608
 Filename: 175 East Main Street 965608A.AGI
 Drawn By: dvento

Job Name:
 175 East Main Street
 Mt Kisco, NY
 Lighting Layout
 Version A

Prepared For:
 Damin Sales
 28 Brunswick Avenue
 Edison, NJ 08818-0377
 Tel: 732-965-8666

RAB
 408 W 14th Street, New York, NY 10014
 888-722-1000 • rablighting.com



Cylinders are a complete design solution. They are available in various sizes, mounting options, colors and beam angles, and suitable for indoor/outdoor use.

Color: Matte black

Weight: 5.1 lbs

Project:

Type:

Prepared By:

Date:

Driver Info

Type	Constant Current
120V	0.18A
208V	0.11A
240V	0.10A
277V	0.09A
Input Watts	19.8W

LED Info

Watts	20W
Color Temp	4000K (Neutral)
Color Accuracy	90 CRI
R9	52
L70 Lifespan	50,000 Hours
Lumens	1,808 lm
Efficacy	91.3 lm/W

Technical Specifications

Compliance

UL Listed:

Suitable for wet locations

IESNA LM-79 & LM-80 Testing:

RAB LED luminaires and LED components have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80

Electrical

Driver:

Constant Current, Class 2, 120-277V, 50/60 Hz, 120V: 0.18A, 208V: 0.11A, 240V: 0.10A, 277V: 0.09A

Dimming Driver:

0 - 10V (at 120-277V), TRIAC and ELV (at 120V only)

THD:

13.6% at 120V, 23.1% at 277V

Power Factor:

98.1% at 120V, 85.9% at 277V

Optical

Optics:

80°

Performance

Lifespan:

50,000-Hour LED lifespan based on IES LM-80 results and TM-21 calculations

LED Characteristics

LEDs:

Long-life, high-efficacy, surface-mount LEDs

Color Stability:

LED color temperature is warrantied to shift no more than 200K in color temperature over a 5-year period

Construction

Cold Weather Starting:

The minimum starting temperature is -30°C (-22°F)

Maximum Ambient Temperature:

Suitable for use in up to 40°C (104°F)

Lens:

Solite Glass Lens and Microprismatic Diffusion Lens

Reflector:

Vacuum-metalized polycarbonate

Technical Specifications (continued)

Construction

Housing:

Extruded aluminum

Mounting:

Wall direct light only

Gaskets:

High-temperature silicone

Green Technology:

Mercury and UV free. RoHS-compliant components.

Finish:

Formulated for high durability and long-lasting color

Other

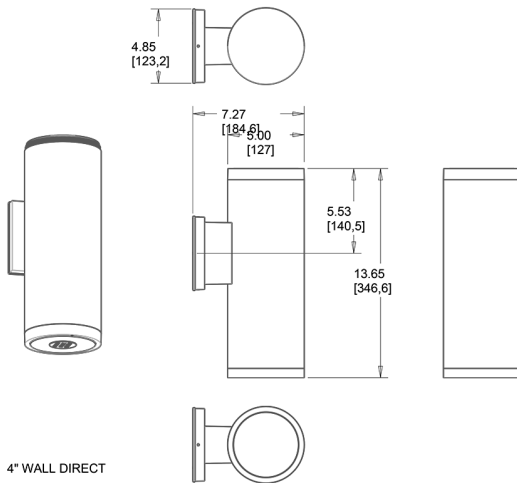
Warranty:

RAB warrants that our LED products will be free from defects in materials and workmanship for a period of five (5) years from the date of delivery to the end user, including coverage of light output, color stability, driver performance and fixture finish. RAB's warranty is subject to all terms and conditions found at rablighting.com/warranty.

Buy American Act Compliance:

RAB values USA manufacturing! Upon request, RAB may be able to manufacture this product to be compliant with the Buy American Act (BAA). Please contact customer service to request a quote for the product to be made BAA compliant.

Dimensions



Features

- Sleek, contemporary, architectural-grade design
- Universal dimming driver (TRIAC, ELV and 0-10V)
- 50,000-Hour LED lifespan

Ordering Matrix

Family	Size	Mounting	Wattage	Optic	CRI/Color Temp	Finish
CDLED	4	WD	20W	80D	940	K
	2 = 2"	WD = Wall Direct (Downlight) Only	10W = 10W	20D = 20°	927 = 90 CRI, 2700K	W = Matte White
	4 = 4"	WU = Wall Indirect (Uplight) Only	20W = 20W	30D = 30°	930 = 90 CRI, 3000K	K = Matte Black
	6 = 6"	W = Wall Direct/Indirect (Downlight/Uplight)	26W = 26W	40D = 40°	935 = 90 CRI, 3500K	S = Matte Silver
		S = Surface (Ceiling Mount)	40W = 40W	50D = 50°	940 = 90 CRI, 4000K	Z = Bronze
		PC = Pendant Cord 48" Standard		80D = 80°	950 = 90 CRI, 5000K	
		PS = Pendant Stem		WW = Wall Wash		



LED bollard with architectural quality and strength at an affordable price point. Cylindrical post with round head. Available in 4 light pattern configurations including 360° (24W), 270° (18W), 180° (12W option) & 90° (12W standard).

Color: Bronze

Weight: 22.0 lbs

Project:

Type:

Prepared By:

Date:

Driver Info

Type	Constant Current
120V	0.26A
208V	0.18A
240V	0.15A
277V	0.14A
Input Watts	23.3W

LED Info

Watts	24W
Color Temp	4000K (Neutral)
Color Accuracy	72 CRI
L70 Lifespan	100,000 Hours
Lumens	2,577 lm
Efficacy	110.6 lm/W

Technical Specifications

Compliance

UL Listed:

Suitable for wet locations. Suitable for mounting within 4 ft. (1.2m) of the ground.

IESNA LM-79 & LM-80 Testing:

RAB LED luminaires and LED components have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80

DLC Listed:

This product is on the Design Lights Consortium (DLC) Qualified Products List and is eligible for rebates from DLC Member Utilities. Designed to meet DLC 5 requirements.

DLC Product Code: PJXRFB8V

LED Characteristics

LEDs:

Long-life, high-efficiency, surface-mount LEDs

Color Consistency:

5-step MacAdam Ellipse binning to achieve consistent fixture-to-fixture color

Color Stability:

LED color temperature is warranted to shift no more than 200K in color temperature over a 5-year period

Color Uniformity:

RAB's range of Correlated Color Temperature follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2017

Performance

Lifespan:

100,000-Hour LED lifespan based on IES LM-80 results and TM-21 calculations

Optical

BUG Rating:

B2 U3 G2

Construction

Cold Weather Starting:

The minimum starting temperature is -40°C (-40°F)

Thermal Management:

Cast aluminum Thermal Management system for optimal heat sinking. The BLEDR is designed for cool operation, maximum efficiency and long life by minimizing LED junction temperature.

Housing:

Die-cast aluminum with extruded aluminum post

Lens:

Frosted vandal resistant polycarbonate

Reflector:

Vacuum-metalized polycarbonate

Technical Specifications (continued)

Construction

Mounting:

Four (4) anchor bolts provided for concrete pad mounting. Internal base support has leveling screws.

Gaskets:

High-temperature silicone gaskets seal out moisture

Anchor Bolt:

Anchor Bolt Dimension is available [here](#).

Finish:

Our environmentally friendly polyester powder coatings are formulated for high-durability and long-lasting color

Green Technology:

Mercury and UV free. RoHS-compliant components.

Other

Patents:

The design of BLED is protected by patents in US, Canada & China

Replacement:

Replaces up to 50W Metal Halide

Warranty:

RAB warrants that our LED products will be free from defects in materials and workmanship for a period of five (5) years from the date of delivery to the end user, including coverage of light output, color stability, driver performance and fixture finish. RAB's warranty is subject to all terms and conditions found at rablighting.com/warranty.

Buy American Act Compliance:

RAB values USA manufacturing! Upon request, RAB may be able to manufacture this product to be compliant with the Buy American Act (BAA). Please contact customer service to request a quote for the product to be made BAA compliant.

Electrical

Driver:

Constant Current, Class 2, 100-277V, 50/60 Hz, 4kV Surge Protection, 720mA, 120V: 0.26A, 208V: 0.18A, 240V: 0.15A, 277V: 0.14A

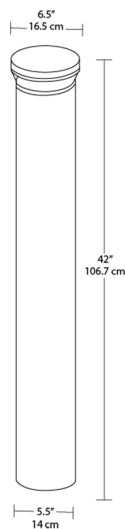
THD:

12.2% at 120V, 12.3% at 277V

Power Factor:

98.7% at 120V, 91.7% at 277V

Dimensions



Features

- Patented base mount design for super sturdy installation
- Durable construction and frosted vandal-resistant polycarbonate lens
- 4 configurations to provide 360°(24W), 270°(18W), 180°(12W) or 90°(12W) lighting pattern
- Precision-engineered optics deliver maximum downward lighting without glare
- Four leveling screws provided for easy installation
- 100,000-hour LED lifespan

Ordering Matrix

Family	Wattage	Color Temp	Finish	Distribution	Voltage	Dimming	Backup
BLEDR	24	N		-			
	12 = 12W 18 = 18W 24 = 24W	Blank = 5000K Cool N = 4000K Neutral Y = 3000K Warm	Blank = Bronze W = White K = Black	Blank = Standard 180 = 180 degrees (12W only)	Blank = No Option (120-277V) /480 = 480V (24W only)	Blank = None (Standard) /D10 = 0-10V Dimming	Blank = No Battery Backup /E = Battery Backup (24W only) /EC = Battery Backup Cold Weather (24W only)



Color: Bronze

Weight: 13.2 lbs

Project:

Type:

Prepared By:

Date:

Driver Info

Type	Constant Current
120V	0.67A
208V	0.40A
240V	0.34A
277V	0.30A
Input Watts	40.6/57.7/81.4W

LED Info

Watts	80W
Color Temp	4000K (Neutral)
Color Accuracy	82 CRI
L70 Lifespan	100,000 Hours
Lumens	5746/7911/10637 lm
Efficacy	141.5/137.1/130.7 lm/W

Technical Specifications

Field Adjustability

Field Adjustable (Wattage):

Field adjustable light output in 3 discrete steps:
Small Housing: 80W/60W/40W (factory default 80W)

Compliance

UL Listed:

Suitable for wet locations

IP Rating:

Ingress protection rating of IP66 for dust and water

IESNA LM-79 & LM-80 Testing:

RAB LED luminaires and LED components have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80.

DLC Listed:

This product is listed by Design Lights Consortium (DLC) as an ultra-efficient premium product that qualifies for the highest tier of rebates from DLC Member Utilities. Designed to meet DLC 5.1 requirements.

DLC Product Code: S-953WEZ

LED Characteristics

LEDs:

Long-life, high-efficacy, discrete, surface-mount LEDs

Color Consistency:

7-step MacAdam Ellipse binning to achieve consistent fixture-to-fixture color

Color Stability:

LED color temperature is warrantied to shift no more than 200K in color temperature over a 5-year period

Color Uniformity:

RAB's range of Correlated Color Temperature follows the guidelines of the American National Standard for (SSL) Products, ANSI C78.377-2017.

Electrical

Driver:

40W: Constant Current, Class 2, 120-277V, 50/60 Hz, 120V: 0.34A, 208V: 0.20A, 240V: 0.17A, 277V: 0.15A

60W: Constant Current, Class 2, 120-277V, 50/60 Hz, 120V: 0.50A, 208V: 0.30A, 240V: 0.25A, 277V: 0.22A

80W: Constant Current, Class 2, 120-277V, 50/60 Hz, 120V: 0.67A, 208V: 0.40A, 240V: 0.34A, 277V: 0.30A

Dimming Driver:

Driver includes dimming control wiring for 0-10V dimming systems. Requires separate 0-10V DC dimming circuit. Dims down to 10%.

THD:

1.98% at 120V, 6.99% at 277V

Power Factor:

99.9% at 120V, 96.4% at 277V

Surge Protection:

Line to Line: 10kV
Line to Ground: 6kV

Technical Specifications (continued)

Performance

Lifespan:

100,000-Hour LED lifespan based on IES LM-80 results and TM-21 calculations

Wattage Equivalency:

Equivalent to 250W Metal Halide

Construction

IES Classification:

The Type II distribution is meant for lighting large areas, located by the roadside. Typically found on wide walkways, on ramps, entrance roadways and bike paths.

Cold Weather Starting:

The minimum starting temperature is -40°C (-40°F)

Ambient Temperature:

Suitable for use in up to 40°C (104°F)

Housing:

Die-cast aluminum

Mounting:

Universal mounting arm compatible for hole spacing patterns from 1" to 5 1/2" center to center. Round Pole Adaptor plate included as a standard. Easy slide and lock to mount fixture with ease.

Reflector:

Aluminum reflector with white polycarbonate

Vibration Rating:

3G vibration rating per ANSI C136.31

Effective Projected Area:

EPA = 0.32

Gaskets:

High-temperature silicone gaskets

Finish:

Formulated for high durability and long-lasting color

Green Technology:

Mercury and UV free. RoHS-compliant components.

Optical

Bug Rating:

BUG Rating 80W: B2 U0 G1

BUG Rating 60W: B2 U0 G1

BUG Rating 40W: B2 U0 G1

Other

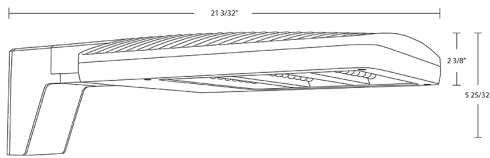
Warranty:

RAB warrants that our LED products will be free from defects in materials and workmanship for a period of ten (10) years from the date of delivery to the end user, including coverage of light output, color stability, driver performance and fixture finish. RAB's warranty is subject to all terms and conditions found at rablighting.com/warranty.

Buy American Act Compliance:

RAB values USA manufacturing! Upon request, RAB may be able to manufacture this product to be compliant with the Buy American Act (BAA). Please contact customer service to request a quote for the product to be made BAA compliant.

Dimensions



Features

- 0-10V dimmable standard
- IP66 Rated
- 100,000-Hour LED lifespan
- 10-Year, No-Compromise Warranty

Ordering Matrix

Family	Housing Size	Distribution	Mounting	Color Temp	Finish	Voltage	Options
ALED	S	2T		N			
	S = Small (80W/60W/40W) M = Medium (150W/90W/78W) L = Large (260W/220W/170W) XL = Extra Large (385W/345W/300W)	2T = Type II 3T = Type III 4T = Type IV 5T = Type V AT = Auto Dealership Optic	Blank = Universal Pole Mount SF = Slipfitter WM = Wall Mount	Blank = 5000K Cool N = 4000K Neutral	Blank = Bronze W = White B = Black	Blank = 120-277V, 0-10V Dimming /480 = 480V, 0-10V Dimming ¹	Blank = No Option /7PR = 7 Pin Twistlock Receptacle /WS2 = Wattstopper, 20ft lens /WS4 = Wattstopper, 40ft lens ²
¹ 480V available in Medium, Large & Extra Large fixtures only ² Wattstopper option available in Large & Extra Large fixtures only							



Color: Bronze

Weight: 13.2 lbs

Project:

Type:

Prepared By:

Date:

Driver Info

Type	Constant Current
120V	0.67A
208V	0.40A
240V	0.34A
277V	0.30A
Input Watts	40.5/57.5/81.2W

LED Info

Watts	80W
Color Temp	4000K (Neutral)
Color Accuracy	82 CRI
L70 Lifespan	100,000 Hours
Lumens	5650/7778/10458 lm
Efficacy	139.5/135.3/128.8 lm/W

Technical Specifications

Field Adjustability

Field Adjustable (Wattage):

Field adjustable light output in 3 discrete steps:
Small Housing: 80W/60W/40W (factory default 80W)

Compliance

UL Listed:

Suitable for wet locations

IP Rating:

Ingress protection rating of IP66 for dust and water

IESNA LM-79 & LM-80 Testing:

RAB LED luminaires and LED components have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80.

DLC Listed:

This product is listed by Design Lights Consortium (DLC) as an ultra-efficient premium product that qualifies for the highest tier of rebates from DLC Member Utilities. Designed to meet DLC 5.1 requirements.

DLC Product Code: S-36E5G8

LED Characteristics

LEDs:

Long-life, high-efficacy, discrete, surface-mount LEDs

Color Consistency:

7-step MacAdam Ellipse binning to achieve consistent fixture-to-fixture color

Color Stability:

LED color temperature is warranted to shift no more than 200K in color temperature over a 5-year period

Color Uniformity:

RAB's range of Correlated Color Temperature follows the guidelines of the American National Standard for (SSL) Products, ANSI C78.377-2017.

Electrical

Driver:

40W: Constant Current, Class 2, 120-277V, 50/60 Hz, 120V: 0.34A, 208V: 0.20A, 240V: 0.17A, 277V: 0.15A

60W: Constant Current, Class 2, 120-277V, 50/60 Hz, 120V: 0.50A, 208V: 0.30A, 240V: 0.25A, 277V: 0.22A

80W: Constant Current, Class 2, 120-277V, 50/60 Hz, 120V: 0.67A, 208V: 0.40A, 240V: 0.34A, 277V: 0.30A

Dimming Driver:

Driver includes dimming control wiring for 0-10V dimming systems. Requires separate 0-10V DC dimming circuit. Dims down to 10%.

THD:

2.02% at 120V, 8.16% at 277V

Power Factor:

99.9% at 120V, 96.5% at 277V

Surge Protection:

Line to Line: 10kV
Line to Ground: 6kV

Technical Specifications (continued)

Performance

Lifespan:

100,000-Hour LED lifespan based on IES LM-80 results and TM-21 calculations

Wattage Equivalency:

Equivalent to 250W Metal Halide

Construction

IES Classification:

The Type III distribution is meant to be located near the side of an area, projecting the light outward to fill the area. Ideal for roadways, general parking areas, lighting applications and where a large pool of light is required.

Cold Weather Starting:

The minimum starting temperature is -40°C (-40°F)

Ambient Temperature:

Suitable for use in up to 40°C (104°F)

Housing:

Die-cast aluminum

Mounting:

Universal mounting arm compatible for hole spacing patterns from 1" to 5 1/2" center to center. Round Pole Adaptor plate included as a standard. Easy slide and lock to mount fixture with ease.

Reflector:

Aluminum reflector with white polycarbonate

Vibration Rating:

3G vibration rating per ANSI C136.31

Effective Projected Area:

EPA = 0.32

Gaskets:

High-temperature silicone gaskets

Finish:

Formulated for high durability and long-lasting color

Green Technology:

Mercury and UV free. RoHS-compliant components.

Optical

Bug Rating:

BUG Rating 80W: B1 U0 G2

BUG Rating 60W: B1 U0 G2

BUG Rating 40W: B1 U0 G1

Other

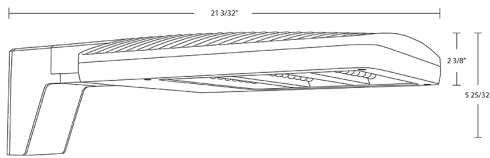
Warranty:

RAB warrants that our LED products will be free from defects in materials and workmanship for a period of ten (10) years from the date of delivery to the end user, including coverage of light output, color stability, driver performance and fixture finish. RAB's warranty is subject to all terms and conditions found at rablighting.com/warranty.

Buy American Act Compliance:

RAB values USA manufacturing! Upon request, RAB may be able to manufacture this product to be compliant with the Buy American Act (BAA). Please contact customer service to request a quote for the product to be made BAA compliant.

Dimensions



Features

0-10V dimmable standard

IP66 Rated

100,000-Hour LED lifespan

10-Year, No-Compromise Warranty

Ordering Matrix

Family	Housing Size	Distribution	Mounting	Color Temp	Finish	Voltage	Options
ALED	S	3T		N			
	S = Small (80W/60W/40W) M = Medium (150W/90W/78W) L = Large (260W/220W/170W) XL = Extra Large (385W/345W/300W)	2T = Type II 3T = Type III 4T = Type IV 5T = Type V AT = Auto Dealership Optic	Blank = Universal Pole Mount SF = Slipfitter WM = Wall Mount	Blank = 5000K Cool N = 4000K Neutral	Blank = Bronze W = White B = Black	Blank = 120-277V, 0-10V Dimming /480 = 480V, 0-10V Dimming ¹	Blank = No Option /7PR = 7 Pin Twistlock Receptacle /WS2 = Wattstopper, 20ft lens /WS4 = Wattstopper, 40ft lens ²

¹ 480V available in Medium, Large & Extra Large fixtures only

² Wattstopper option available in Large & Extra Large fixtures only



Color: Bronze

Weight: 13.2 lbs

Project:

Type:

Prepared By:

Date:

Driver Info

Type	Constant Current
120V	0.67A
208V	0.40A
240V	0.34A
277V	0.30A
Input Watts	40.9/58.1/82.0W

LED Info

Watts	80W
Color Temp	4000K (Neutral)
Color Accuracy	82/82/83 CRI
L70 Lifespan	100,000 Hours
Lumens	5735/7895/10616 lm
Efficacy	140.2/135.9/129.5 lm/W

Technical Specifications

Field Adjustability

Field Adjustable (Wattage):

Field adjustable light output in 3 discrete steps:
Small Housing: 80W/60W/40W (factory default 80W)

Compliance

UL Listed:

Suitable for wet locations

IP Rating:

Ingress protection rating of IP66 for dust and water

IESNA LM-79 & LM-80 Testing:

RAB LED luminaires and LED components have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80.

DLC Listed:

This product is listed by Design Lights Consortium (DLC) as an ultra-efficient premium product that qualifies for the highest tier of rebates from DLC Member Utilities. Designed to meet DLC 5.1 requirements.

DLC Product Code: S-YQSW2A

LED Characteristics

LEDs:

Long-life, high-efficacy, discrete, surface-mount LEDs

Color Consistency:

7-step MacAdam Ellipse binning to achieve consistent fixture-to-fixture color

Color Stability:

LED color temperature is warranted to shift no more than 200K in color temperature over a 5-year period

Color Uniformity:

RAB's range of Correlated Color Temperature follows the guidelines of the American National Standard for (SSL) Products, ANSI C78.377-2017.

Electrical

Driver:

40W: Constant Current, Class 2, 120-277V, 50/60 Hz, 120V: 0.34A, 208V: 0.20A, 240V: 0.17A, 277V: 0.15A

60W: Constant Current, Class 2, 120-277V, 50/60 Hz, 120V: 0.50A, 208V: 0.30A, 240V: 0.25A, 277V: 0.22A

80W: Constant Current, Class 2, 120-277V, 50/60 Hz, 120V: 0.67A, 208V: 0.40A, 240V: 0.34A, 277V: 0.30A

Dimming Driver:

Driver includes dimming control wiring for 0-10V dimming systems. Requires separate 0-10V DC dimming circuit. Dims down to 10%.

THD:

2.22% at 120V, 7.07% at 277V

Power Factor:

99.9% at 120V, 96.6% at 277V

Surge Protection:

Line to Line: 10kV
Line to Ground: 6kV

Technical Specifications (continued)

Performance

Lifespan:

100,000-Hour LED lifespan based on IES LM-80 results and TM-21 calculations

Wattage Equivalency:

Equivalent to 250W Metal Halide

Construction

IES Classification:

The Type IV distribution is especially suited for mounting on the sides of buildings and walls, and for illuminating the perimeter of parking areas. It produces a semicircular distribution with essentially the same candlepower at lateral angles from 90° to 270°.

Cold Weather Starting:

The minimum starting temperature is -40°C (-40°F)

Ambient Temperature:

Suitable for use in up to 40°C (104°F)

Housing:

Die-cast aluminum

Mounting:

Universal mounting arm compatible for hole spacing patterns from 1" to 5 1/2" center to center. Round Pole Adaptor plate included as a standard. Easy slide and lock to mount fixture with ease.

Reflector:

Aluminum reflector with white polycarbonate

Vibration Rating:

3G vibration rating per ANSI C136.31

Effective Projected Area:

EPA = 0.32

Gaskets:

High-temperature silicone gaskets

Finish:

Formulated for high durability and long-lasting color

Green Technology:

Mercury and UV free. RoHS-compliant components.

Optical

Bug Rating:

BUG Rating 80W: B1 U0 G2

BUG Rating 60W: B1 U0 G2

BUG Rating 40W: B1 U0 G2

Other

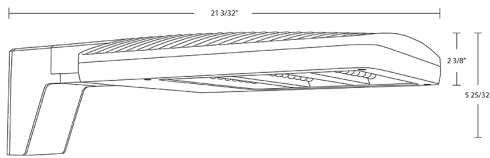
Warranty:

RAB warrants that our LED products will be free from defects in materials and workmanship for a period of ten (10) years from the date of delivery to the end user, including coverage of light output, color stability, driver performance and fixture finish. RAB's warranty is subject to all terms and conditions found at rablighting.com/warranty.

Buy American Act Compliance:

RAB values USA manufacturing! Upon request, RAB may be able to manufacture this product to be compliant with the Buy American Act (BAA). Please contact customer service to request a quote for the product to be made BAA compliant.

Dimensions



Features

- 0-10V dimmable standard
- IP66 Rated
- 100,000-Hour LED lifespan
- 10-Year, No-Compromise Warranty

Ordering Matrix

Family	Housing Size	Distribution	Mounting	Color Temp	Finish	Voltage	Options
ALED	S	4T		N			
	S = Small (80W/60W/40W) M = Medium (150W/90W/78W) L = Large (260W/220W/170W) XL = Extra Large (385W/345W/300W)	2T = Type II 3T = Type III 4T = Type IV 5T = Type V AT = Auto Dealership Optic	Blank = Universal Pole Mount SF = Slipfitter WM = Wall Mount	Blank = 5000K Cool N = 4000K Neutral	Blank = Bronze W = White B = Black	Blank = 120-277V, 0-10V Dimming /480 = 480V, 0-10V Dimming ¹	Blank = No Option /7PR = 7 Pin Twistlock Receptacle /WS2 = Wattstopper, 20ft lens /WS4 = Wattstopper, 40ft lens ²

¹ 480V available in Medium, Large & Extra Large fixtures only

² Wattstopper option available in Large & Extra Large fixtures only



Square steel poles drilled for 2 Area Lights at 180°. Designed for ground mounting. Poles are stocked nationwide for quick shipment. Protective packaging ensures poles arrive at the job site good as new.

Color: Bronze

Weight: 105.8 lbs

Project:	Type:
Prepared By:	Date:

Technical Specifications

Compliance

CSA Listed:

Suitable for wet locations

Construction

Shaft:

46,000 p.s.i. minimum yield.

Hand Holes:

Reinforced with grounding lug and removable cover

Base Plates:

Slotted base plates 36,000 p.s.i.

Shipping Protection:

All poles are shipped in individual corrugated cartons to prevent finish damage

Color:

Bronze powder coating

Height:

15 FT

Weight:

106 lbs

Gauge:

11

Wall Thickness:

1/8"

Shaft Size:

4"

Hand Hole Dimensions:

3" x 5"

Bolt Circle:

8 1/2"

Base Dimension:

8"

Technical Specifications (continued)

Construction

Anchor Bolt:

Galvanized anchor bolts and galvanized hardware and anchor bolt template. All bolts have a 3" hook.

Anchor Bolt Templates:

WARNING Template must be printed on 11" x 17" sheet for actual size. CHECK SCALE BEFORE USING. Templates shipped with anchor bolts and available [online](#).

Pre-Shipped Anchor Bolts:

Bolts can be pre-shipped upon request for additional freight charge

Max EPA's/Max Weights:

- 70MPH 17.4 ft./450 lb.
- 80MPH 12.5 ft./440 lb.
- 90MPH 9.0 ft./440 lb.
- 100MPH 6.6 ft./440 lb.
- 110MPH 4.8 ft./435 lb.
- 120MPH 3.4 ft./435 lb.
- 130MPH 2.3 ft./435 lb.
- 140MPH 1.4 ft./430 lb.
- 150MPH 0.8 ft./420 lb

Other

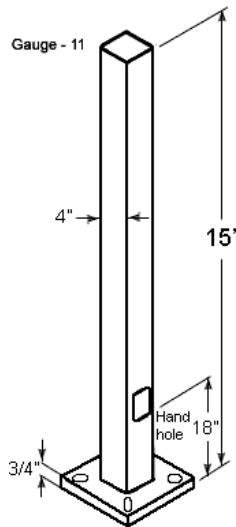
Terms of Sale:

Pole Terms of Sale is available [online](#).

Buy American Act Compliance:

RAB values USA manufacturing! Upon request, RAB may be able to manufacture this product to be compliant with the Buy American Act (BAA). Please contact customer service to request a quote for the product to be made BAA compliant.

Dimensions



Features

- Designed for ground mounting
- Heavy duty TGIC polyester coating
- Reinforced hand holes with grounding lug and removable cover for easy wiring access
- Pole caps, base covers & bolts are sold separately
- Custom manufactured for each application



Memorandum of Understanding

VKS Architects

P.O. Box 696
Katonah NY 10536
914-232-9828
vks@vksa.com

175 Main Street of Mt Kisco LLC

To: Matthew Tynan, 179 E Main Street
Patrick Cambareri, 9 Lundy Lane

From: Viktor K. Solarik, AIA LEED AP

CC: Fortunato Cambareri

Date: 1/3/2023

Re: Addition and Alterations to 172 E Main Street, Mt. Kisco NY 10549

Comments:

Gentlemen, thank you for meeting with us on 12/13/2022 regarding the proposed modifications to 175 E Main Street. As requested by the Planning Board and as discussed in our meeting, the following modifications will be incorporated into the site plan:

1. 179 E Main Street: Owner will remove the “wall-pack” lights currently mounted on the northern wall of the building, and replace them with suitable down lights.

The access to the exit door on the north side of the building will be maintained via a new paved walkway, which will tie into the pedestrian area on the south side of the 175 E Main Str. Building. The existing evergreen plantings along the demising property line between the two properties are located on 179 E Main Str. Property. These should be inspected and trimmed to stimulate new growth, or replaced.

-
2. 9 Lundy Lane: New concrete curbing will be installed on both sides of the access road to the 175 Main Street parking lot by the owner of 175 E Main Street, subject to the approval by the Village/Town of Mt. Kisco (the road is owned by the Village).

Please contact our office if you have any questions or concerns regarding the above.

Respectfully,

Viktor Solarik

VKS Architects

SALLY FAY
29 Carpenter Avenue
Apt 1B
Mt. Kisco, NY 10549
home: 914.666.8113 mobile: 914.588.1041
email: sallyrfay@gmail.com

Village/Town of Mount Kisco
Planning Board

JAN 12 2023

RECEIVED

January 12, 2023

William Polese, Vice Chair, Planning Board
Village/Town of Mount Kisco
104 Main Street
Mount Kisco, NY 10549

Dear Mr. Polese and members of the Planning Board,

Regarding the Verizon wireless facility proposed for the roof of 45 East Main Street by Verizon (the applicant) and the setback variance granted on October 12, 2021:

It appears from our review of the Planning Board Resolution packet dated October 12, 2021, that the application/variance has expired based on the date of the Resolution, and that no work has commenced at the site, rendering the application and variance null and void.

Please see:

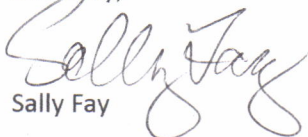
Page 42 of the packet (page 4 of the Resolution): "Construction shall commence within six (6) months of the date of this Resolution and all remaining conditions herein shall be satisfied within one (1) year of commencement of construction ..."

Page 45 of the packet (page 7 of the Resolution): "27. Failure to comply with any of the aforesaid conditions ... Deviation from any such approvals may render ... null and void."

This is a great relief to many of us on Carpenter Avenue, especially since our Ability Beyond neighbor (the closest property owner) claims they were not notified of the setback variance requested, and had no opportunity to notify guardians/parents of the vulnerable population of residents there.

Please alert me to any next steps the Village plans to take on this matter.

Sincerely,


Sally Fay

SALLY FAY
29 Carpenter Avenue
Apt 1B
Mt. Kisco, NY 10549
home: 914.666.8113 mobile: 914.588.1041
email: sallyrfay@gmail.com

Village/Town of Mount Kisco
Planning Board

JAN 12 2023

RECEIVED

January 12, 2023

Michael Bonforte, Chair, Planning Board
Village/Town of Mount Kisco
104 Main Street
Mount Kisco, NY 10549

Dear Mr. Bonforte and members of the Planning Board,

Regarding the Verizon wireless facility proposed for the roof of 45 East Main Street by Verizon (the applicant) and the setback variance granted on October 12, 2021:

It appears from our review of the Planning Board Resolution packet dated October 12, 2021, that the application/variance has expired based on the date of the Resolution, and that no work has commenced at the site, rendering the application and variance null and void.

Please see:

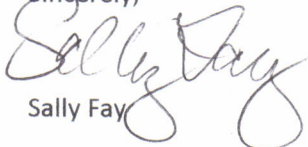
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This is a great relief to many of us on Carpenter Avenue, especially since our Ability Beyond neighbor (the closest property owner) claims they were not notified of the setback variance requested, and had no opportunity to notify guardians/parents of the vulnerable population of residents there.

Please alert me to any next steps the Village plans to take on this matter.

Sincerely,


Sally Fay

PUBLIC NOTICE

Please Take Notice that in accordance with Chapter 107 and 110-46 of the Code of the Village of Mount Kisco, a public hearing has been scheduled in connection with an application for a Special Permit and Wetland Permit submitted by the applicants. The subject property is 2.61 ± acres of land located at 135 Radio Circle (SBL 80.63-1-1.2) within the RDX (Research and Development) Zoning District and is currently used as office and storage in a two-story commercial building. The applicants are requesting the current use to be amended to Office with an Adult Day-Care Facility component. A Wetland Permit is required for the relocation of the existing indoor refuse containers to be located outside on existing impervious surfaces within the wetland buffer.

The Planning Board of the Village of Mount Kisco will hold a public hearing on Tuesday, January 24, 2023 at 7:30 PM, or as soon thereafter as may be heard, in the Frank J. DiMicco, Sr. room located within Village Hall, 104 Main Street, Mount Kisco, New York to receive public comment.

All interested parties are invited to attend and be heard.

By order of:
Mount Kisco Planning Board 0005548478